



Board of Adjustment Staff Report

Meeting Date: March 4 ,2021

Agenda Item: 8B

SPECIAL USE PERMIT CASE NUMBER: WSUP21-0002 Sage Ridge School

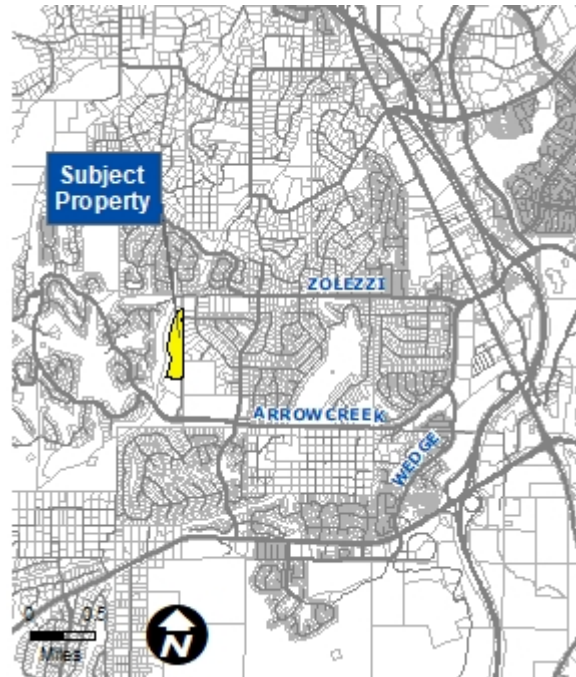
BRIEF SUMMARY OF REQUEST: To approve a special use permit to allow the use of Education, Private School Facilities, to permit a 24,000 sq. ft. gym

STAFF PLANNER: Planner's Name: Julee Olander
Phone Number: 775.328.3627
E-mail: jolander@washoecounty.us

CASE DESCRIPTION

For hearing, discussion and possible action to approve a special use permit to allow the use of Education, Private School Facilities, to permit a 24,000 sq. ft. gym, in accordance with Washoe County Code (WCC) Table 110.302.05.2 on a 33.42 acres site at the terminus of Crossbow Ct.

Applicant/Property Owner: Sage Ridge School
Location: at the terminus of Crossbow Ct
APN: 152-021-09
Parcel Size: 33.42 acres
Master Plan: Suburban Residential (SR)
Regulatory Zone: Low Density Suburban (LDS)
Area Plan: Southwest Truckee Meadows
Citizen Advisory Board: South Truckee Meadows/Washoe Valley
Development Code: Authorized in Article 810, Special Use Permits
Commission District: 2 – Commissioner Lucey



STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Planning Commission approve, with conditions, Special Use Permit Case Number WSUP21-0005 for Sage Ridge School, having made all five findings in accordance with Washoe County Code Section 110.810.30.,

(Motion with Findings on Page 10)

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Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

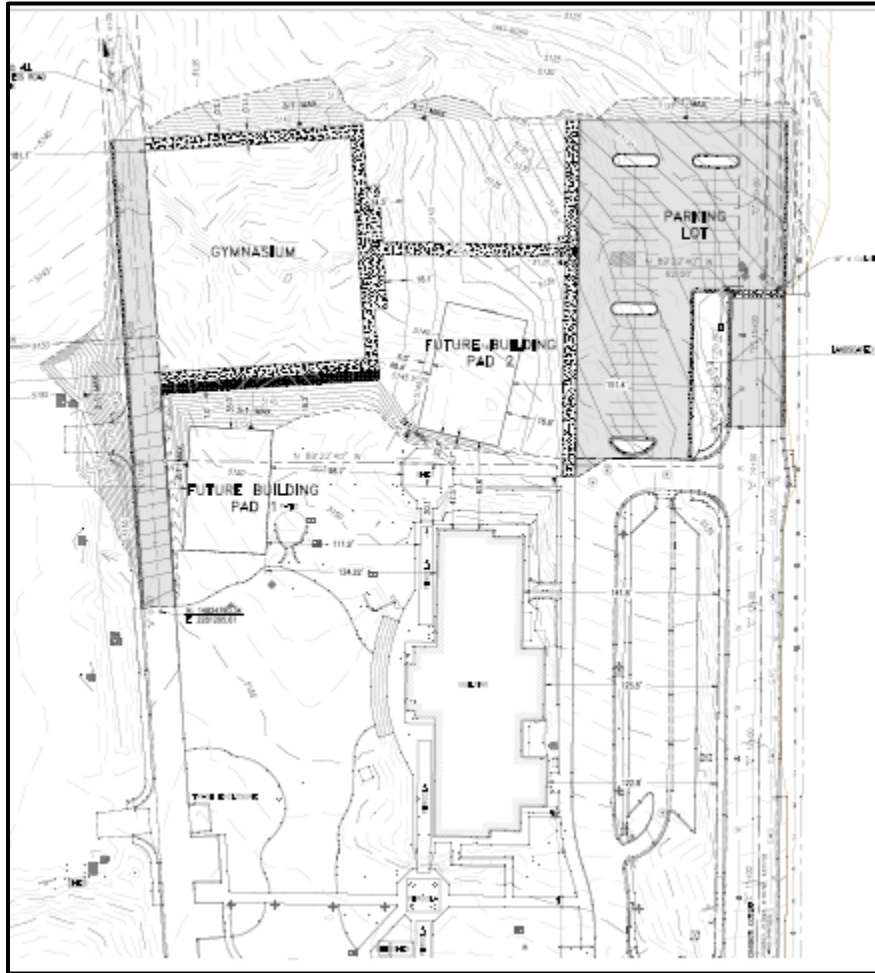
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP21-0002 are attached to this staff report and will be included with the action order.

The subject property is designated as Low Density Suburban (LDS). The proposed use of a 24,000 sq. ft. school gym is classified as Education, Private School Facilities and is permitted in LDS with a special use permit per WCC Table 110.302.05.2. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Vicinity Plan



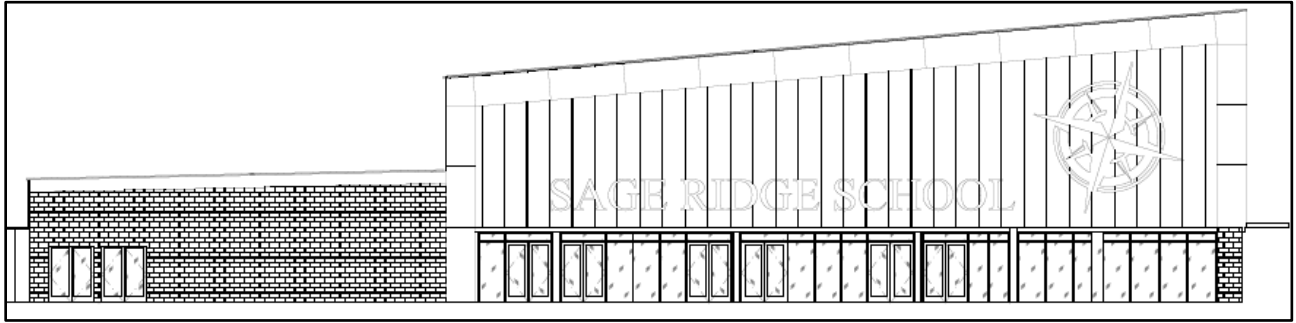
Site Plan

Project Evaluation

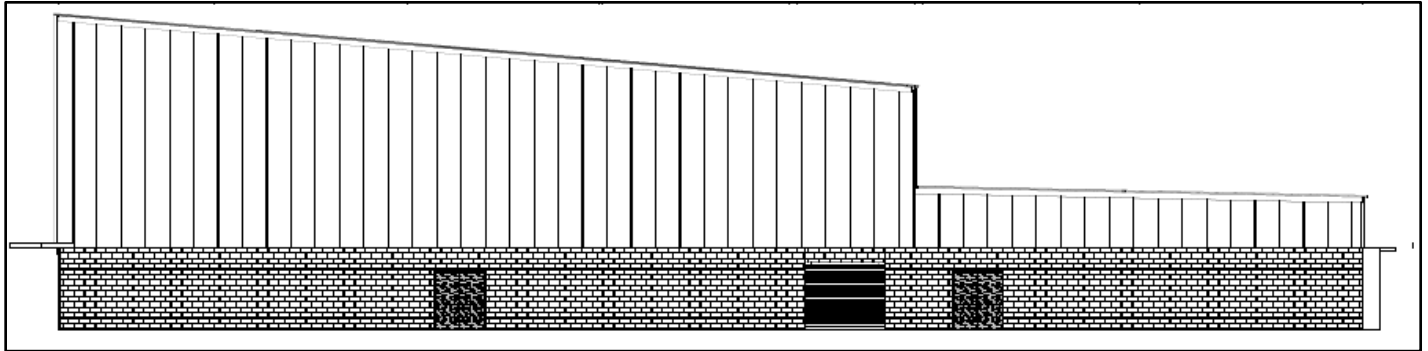
The proposed project is to add a 24,000 sq. ft. gym, with restrooms, lockers and a weight room, to the existing Sage Ridge School. Sage Ridge is a private school for grades 3rd through 12th, with 80 high school students and an overall population of 200+ students. The proposal is to construct the gym on the adjacent parcel which is owned by the school and located north of the existing school buildings. The 33-acre parcel (APN: 152-021-09) is vacant and the gym will be located on the southern portion of the parcel adjacent to the existing school buildings. The applicant indicates that the gym materials and color will closely match the existing buildings.



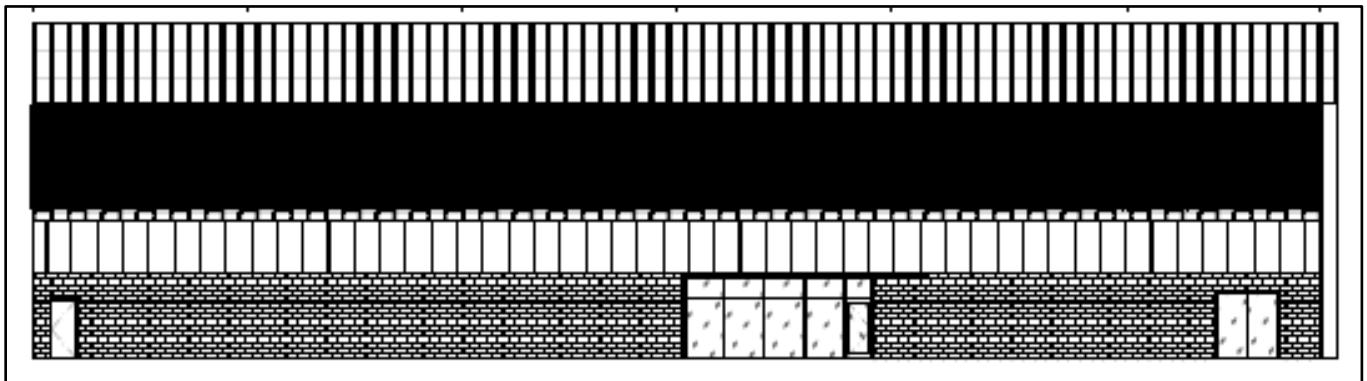
Conceptual Elevation Plan



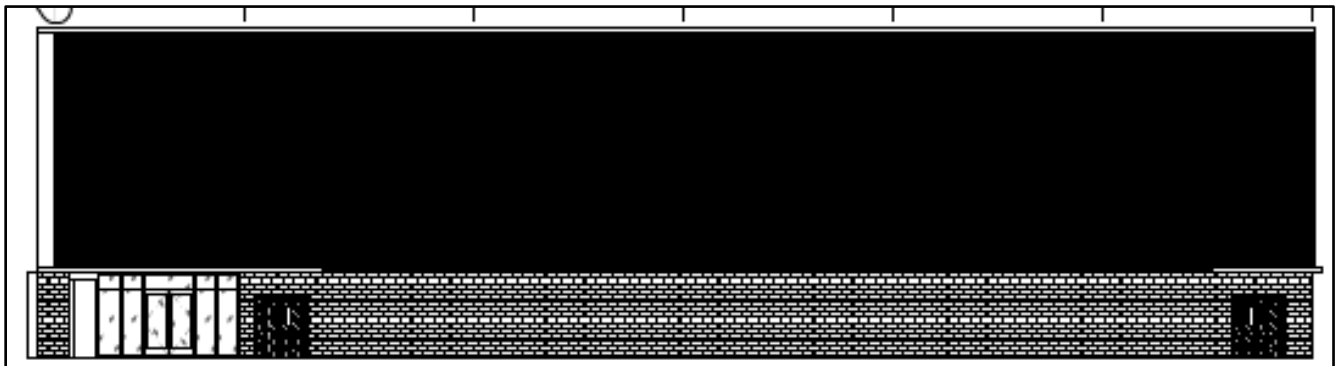
East Elevation



West Elevation



South Elevation



North Elevation



Landscape Plan

The parcel has a regulatory zone of Low Density Suburban (LDS), as do the parcels to the north, south and east. Thomas Creek is located in the parcel to the west, which is owned by Washoe County and has regulatory zoning of Open Space (OS). Hunsberger Elementary School is located on the parcels adjacent to the south and Henz Middle School is across Crossbow Court to the east.

Washoe County code requires a special use permit for Education, Private School Facilities, for schools funded primarily by means other than tax revenue. The existing school was constructed in the 2002 without a gym. The new gym will be “state-of-the-art” according to the application and will have a positive impact to the school. The application indicates that the gym will allow, “students the opportunity to excel in a very competitive athletic environment while attending one of the brightest private schools in northern Nevada.” A parking area will be added adjacent to the gym with 61 spaces.

The gym will be constructed in one phase, construction is planned to start in May 2021 and finish by the end of the 2021. There are existing utilities and services in the area to support the building and no impacts are anticipated to the surrounding area.

Grading

The grading will disturb 136,629 sq. ft of the ±33.4 acres site with ±6,783 cubic yards of cuts and ±6,783 yards of fill. There will be no import or export of earthen material and the grading is design to balance on site and will meet Washoe County grading code requirements.

Southwest Truckee Meadows Area Plan- Volume Three of the Washoe County Mater Plan

Goal Two: Common Development Standards in the Southwest Truckee Meadows Planning Area. Establish development guidelines that will implement and preserve the community character commonly found within the Southwest Truckee Meadows planning area.

SW.2.3 Applicants directed to obtain a variance, special use permit, tentative map, or master plan amendment shall be required to present their items to the Citizen Advisory Board (CAB) and submit a statement to staff regarding how the final proposal responds to the community input received at the CAB.

Staff Comment: The application was heard by the South Truckee Meadows/Washoe Valley CAB and submitted a statement regarding the input received from the CAB (See Exhibit C).

South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)

The proposed project was presented by the applicant's representative at the regularly scheduled Citizen Advisory Board meeting on February 4, 2021. The CAB unanimously recommended approval of the request. The CAB minutes were not available at the time that the staff report was prepared. The comments made at the CAB meeting included:

- Lighting
- Building height

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
 - Planning and Building Division
 - Engineering and Capital Projects Division
 - Water Management
 - Parks
- Washoe County Health District
 - Environmental Health Services Division
 - Air Quality
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Washoe-Storey Conservation District

Eight out of the nine above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order

- Washoe County Planning and Building Division addressed the construction drawings and hours of construction.
Contact: Julee Olander, 775.328.3627, jolander@washoecounty.us
- Washoe County Engineering and Capital Projects Division addressed the requirements for complete construction drawings, drainage features and traffic associated with the project.
Contact: Leo Vesely & Mitchell Fink, 775.328.2313 & 328.2050, lvesely@washoecounty.us & mfink@washoecounty.us
- Washoe County Parks had no comments.

Contact: Sophia Kirschenman, 775.328.3623, skirschenman@washoecounty.us

- Washoe County Water Management had no comments and commented on the need meet Truckee Meadows Water Authority requirements.

Contact: Vahid Behmaram, 775.954.4647 vbehmaram@washoecounty.us

- Washoe County Health District addressed air quality permits.

Contact: Rosa Genine, 775.784.7204, rgenine@washoecounty.us

- Washoe County Health District- Environmental Health Services Division had no comments

Contact: Wes Rubio, 775.328.2635, wrubio@washoecounty.us

- Truckee Meadows Fire Protection District provided information concerning fire codes.

Contact: Dale Way/Brittany Lemon, 775.326.6000, dway@tmfpd.us/blemon@tmfpd.us

- Washoe-Storey Conservation District provided information concerning landscaping and storm water run-off.

Contact: Tyler Shaffer, 775.857.8500 ext. 131, shafferjam51@gmail.com

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment/ before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan.

Staff Comment: The requested use, Education, Private School Facilities, is consistent and does not conflict with the policies, action programs, standards, and maps of the Master Plan and the Southwest Area Plan

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: There are the required utilities and roadways to adequately support the proposed school gym in accordance with Division Seven.

3. Site Suitability. That the site is physically suitable for Education, Private School Facilities, and for the intensity of such a development.

Staff Comment: There are existing schools and school facilities in the area and the proposed gym is not anticipated to create any significant demand for the existing utilities, roadway improvements, sanitation, or water supply.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The subject property is an established school site with existing school buildings. Issuance of the permit will not be significantly detrimental to the public health, safety, or welfare, injurious to the property or improvements of adjacent properties, or detrimental to the character of the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation in the required noticing distance of the proposed structure; therefore, this finding is not required to be made.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP21-0002 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP21-0002 for Sage Ridge School, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan;
2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. **Site Suitability.** That the site is physically suitable for type of development, Education, Private School Facilities, and for the intensity of such a development;
4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. **Effect on a Military Installation.** Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment/ action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant/ Owner: Sage Ridge School
2515 Crossbow Ct.
Reno, NV 89511
Email: tbechtel@sageridge.org

Consultant: Montane Building Group, Inc.
5475 Reno Corporate Dr., Suite 300
Reno, NV 89511
Email: paul@montanebuildinggroup.com



Conditions of Approval

Special Use Permit Case Number WSUP21-0002

The project approved under Special Use Permit Case Number WSUP21-0002 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on March 4, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, 775.328.3627, jolander@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- e. Construction work hours will be limited to 7am to 7pm Monday to Saturday.
- f. An onsite noxious weeds management plan needs to be developed to ensure weed seeds do not impact other areas.
- g. Any imported earthen materials shall be "certified weed free" in order to prevent the spread of noxious weeds within the county.
- h. Any rip-rap that is not allowed per WCC 110.438 will be covered by dirt and vegetation as required per WCC 110.438.50(b).
- i. The grading on site shall be in compliance with applicable best management practices to minimize erosion.
- j. Construction work hours will be limited to 7am to 7pm Monday to Saturday.
- k. Any imported earthen materials shall be "certified weed free" in order to prevent the spread of noxious weeds within the county.
- l. The grading on site shall be in compliance with applicable best management practices to minimize erosion.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Contact Name – Leo Vesely, P.E., (775) 328-2041, lvesely@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. The developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The Truckee Meadows Regional Stormwater Quality Management Program Construction Permit Submittal Checklists and Inspection Fee shall be submitted with the grading permit.
- d. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
- e. All grading shall be in accordance with Article 110.438 Grading Standards.
- f. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Specifications for revegetation procedure and seed mix shall be prepared by a licensed landscape architect.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

- g. A hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- h. Any increase in storm water runoff resulting from the development shall be detained on site to the satisfaction of the County Engineer.
- i. Standard reinforced concrete headwalls or other approved alternatives shall be placed on the inlet and outlet of all drainage structures and rip rap shall be used to prevent erosion at the inlets and outlets of all pipe culverts to the satisfaction of the County Engineer.
- j. The applicant shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Name: Mitchell Fink, P.E. (775) 328-2050

- k. The minimum pavement requirements for on-site paving shall be three inches (3") of asphalt over six inches (6") of granular base to the satisfaction of the County Engineer.
- l. Install "No Parking during school hours" signs in the existing school zone on Crossbow Court from the Arrowcreek Middle School entrance to the northern extent of the proposed improvements on both sides of the roadway.

- m. All improvements in the County right of way shall be constructed in accordance with County standards.
- n. Appropriate transitions shall be provided between the existing and proposed improvements at the proposed street connections. This may include removal and replacement of existing pavement.
- o. Sidewalk shall be perpetuated along the west side of Crossbow Court where currently not constructed and meet current ADA standards.
- m. Regional Road Impact Fees will apply prior to the issuance of Certificate of Occupancy.
- p. Either provide a cul-de-sac at the end of Crossbow Court or improve the emergency access road to Rock Haven. The cul-de-sac shall be constructed in accordance with County standards, at the end of Crossbow Court, with an offer of dedication to Washoe County, if outside the current County Right-of-Way. The emergency access road along the west side of the property shall be improved in accordance with County standards for permanent emergency access road from the south paved end to Rock Haven Drive. The permanent emergency access road shall be built in accordance with County standards and update the current temporary emergency access road easement to a permanent emergency access road easement.

Washoe County Health District

- 3. The following conditions are requirements of the Health District, which shall be responsible for determining compliance with these conditions.

Contact Name - Genine Rosa, 775.784.7204, grosa@washoercounty.us

- a. Dust Control Permit will be required for grading work.

Truckee Meadows Fire Protection District (TMFPD)

- 4. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions. Unless otherwise stated, these conditions shall be met prior to the issuance of any building or grading permit or on an ongoing basis (phased development) as determined by TMFPD.

Any future development of a single, multiple, or all parcels will be subject to currently adopted Fire and Wildland-Urban Interface Codes at the time of development on the specific parcel.

**Contact Name – Dale Way/Brittany Lemon, 775.326.6000,
dway@tmfpd.us/blemon@tmfpd.us**

- a. The Truckee Meadows Fire Protection District (TMFPD) will require that this project meet the requirements of Washoe County Code 60 to include infrastructure, access, and water for fire suppression.

*** End of Conditions ***



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

Date: January 29, 2021

To: Julee Olander, Planner

From: Leo Vesely, P.E., Licensed Engineer

Re: Special Use Permit Case **WSUP21-0002 – Sage Ridge Gym**
APN 152-021-09

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is to allow the use of Education, Private School Facilities, to permit a 24,000 sq. ft. gym, in accordance with Washoe County Code. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Sage Ridge School. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-2313

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. The developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading permit.
3. The Truckee Meadows Regional Stormwater Quality Management Program Construction Permit Submittal Checklists and Inspection Fee shall be submitted with the grading permit.
4. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
5. All grading shall be in accordance with Article 110.438 Grading Standards.
6. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Specifications for revegetation procedure and seed mix shall be prepared by a licensed landscape architect.



INTEGRITY



EFFECTIVE
COMMUNICATION



QUALITY
PUBLIC SERVICE

WSUP21-0002
EXHIBIT B

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DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Leo Vesely, P.E. (775) 328-2313

1. A hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
2. Any increase in storm water runoff resulting from the development shall be detained on site to the satisfaction of the County Engineer.
3. Standard reinforced concrete headwalls or other approved alternatives shall be placed on the inlet and outlet of all drainage structures and rip rap shall be used to prevent erosion at the inlets and outlets of all pipe culverts to the satisfaction of the County Engineer.
4. The applicant shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink, P.E. (775) 328-2050

1. The minimum pavement requirements for on-site paving shall be three inches (3") of asphalt over six inches (6") of granular base to the satisfaction of the County Engineer.
2. Install "No Parking during school hours" signs in the existing school zone on Crossbow Court from the Arrowcreek Middle School entrance to the northern extent of the proposed improvements on both sides of the roadway.
3. All improvements in the County right of way shall be constructed in accordance with County standards.
4. Appropriate transitions shall be provided between the existing and proposed improvements at the proposed street connections. This may include removal and replacement of existing pavement.
5. Sidewalk shall be perpetuated along the west side of Crossbow Court where currently not constructed and meet current ADA standards.
6. Regional Road Impact Fees will apply prior to the issuance of Certificate of Occupancy.
7. Either provide a cul-de-sac at the end of Crossbow Court or improve the emergency access road to Rock Haven. The cul-de-sac shall be constructed in accordance with County standards, at the end of Crossbow Court, with an offer of dedication to Washoe County, if outside the current

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County Right-of-Way. The emergency access road along the west side of the property shall be improved in accordance with County standards for permanent emergency access road from the south paved end to Rock Haven Drive. The permanent emergency access road shall be built in accordance with County standards and update the current temporary emergency access road easement to a permanent emergency access road easement.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. There are no utility related conditions of approval.



Julee Olander, Planner
Washoe County – Community Services Department
1001 E. Ninth St
Reno, NV 89512
775.328.3627

January 21, 2021

Re: WSUP21-0002 (Sage Ridge Gym) – Conditions of Approval

Truckee Meadows Fire Protection District (TMFPD)

The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions. Unless otherwise stated, these conditions shall be met prior to the issuance of any building or grading permit or on an ongoing basis (phased development) as determined by TMFPD.

Any future development of a single, multiple, or all parcels will be subject to currently adopted Fire and Wildland-Urban Interface Codes at the time of development on the specific parcel.

Contact Name – Dale Way / Brett Lee, 775.326.6000, dway@tmfpd.us / blee@tmfpd.us

Fire Apparatus Access Roads

1. Fire apparatus access roads shall be in accordance with *International Fire Code* Appendix D and all other applicable requirements of the IFC. (IFC 503.1 / D101.1)
2. Approved fire apparatus access roads shall be required for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access roads shall comply with the requirements of IFC Section 503 and Appendix D and shall extend to within 150 feet of all portions of the facility and all portions of the *exterior walls* of the first story of the building as measured by an *approved* route (as the hose lays around obstructions) around the exterior of the building or facility. (IFC 503.1.1)
3. Fire apparatus access roads shall have an all-weather surface and be capable of supporting the weight of Fire District apparatus (80,000 pounds). (IFC 503.2.3 / D102.1)
4. Fire apparatus access roads shall have a minimum width of 20 feet (with no parking), 26 feet (one side parking), and 32 feet (parking on both sides), exclusive of shoulders, and an unobstructed vertical clearance of not less than 13 feet 6 inches. (IFC 503.2.1 / D103.6.1 / D103.6.2)



5. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1). (IFC D103.1)
6. Fire apparatus access roads less than the width required for parking on both sides shall be marked and/or signed in accordance with Section 503.3 and Appendix D103.6 to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. (IFC 503.3 / D103.6)
7. Fire apparatus access roads shall not exceed 10 percent in grade. Angles of approach and angles of departure must not exceed 6 percent for 25 feet before or after the grade change. (IFC D103.2 / 503.2.8)
8. Fire apparatus access roads shall have a minimum inside turning radius of 28 feet, and a minimum outside turning radius of 52 feet. (IFC D103.3)
9. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Table D103.4. (IFC D103.4)
10. Gates across fire apparatus access roads shall comply with Appendix D103.5 and Sections 503.4 and 503.5.
11. Buildings four or more stories or 30 feet in height shall have at least two (2) means of fire apparatus access for each structure. (IFC D104.1)
12. Buildings exceeding 62,000 square feet in area shall have at least two (2) means of fire apparatus access for each structure. (IFC D104.2)
13. Where two (2) fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses. (IFC D104.3)
14. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet *approved aerial* fire apparatus access roads shall be provided. (IFC D105.1)
15. When aerial fire apparatus access roads are required, aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof. (IFC D105.2)
16. When aerial fire apparatus access roads are required, one or more of the required access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the *fire code official*. (IFC D105.3)
17. When aerial fire apparatus access roads are required, overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the *fire code official*. (IFC D105.4)



Fire Protection Water Supplies

1. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.1)
2. The number of fire hydrants available to a building shall be not less than the minimum specified in Table C102.1. (IFC C102.1)
3. Fire hydrant systems shall comply with Washoe County Standard Detail W-23 and IFC Sections 507.5.1 through 507.5.6. (IFC 507.5 / Washoe County Code)
4. Fire hydrants must be spaced at a maximum separation of 500 feet along the required apparatus access lane in residential areas and 1,000 feet where not required for structures to provide for transportation hazards. Hydrant spacing may be increased by 125 feet if all structures within the development are provided with fire sprinkler protection. There is no allowable increase for hydrants installed for transportation hazards. (IFC Table C102.1)
5. In developments with R-3 occupancies, where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 600 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. (IFC 507.5.1)
6. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. (IFC 507.5.4)
7. A 3-foot minimum clear space shall be maintained around the circumference of fire hydrants, as measured from the furthest edge of a fire hydrant in any direction. (IFC 507.5.5)
8. Fire hydrants shall not be located within six feet of a driveway, power pole, or light standard. (IFC 507.5.6)
9. Fire hydrants shall be located adjacent to apparatus access lanes and a minimum of four feet and a maximum of seven feet from back of curb. Provide a detail on the plans. (IFC 507.5.6)
10. Fire hydrants shall have a concrete pad around the base in accordance with Washoe County Standard Detail W-23.





International Wildland-Urban Interface Code

1. All parcels located in other than a Low Hazard WUI Rating shall comply with all provisions of the IWUI as adopted and amended by TMFPD and Washoe County Building.
2. The IWUI Fire Hazard designation for your project is available on the provided Washoe Regional Mapping System link. (<https://gis.washoecounty.us/wrms/firehazard>). After you have found your property using the address search feature, the color of the background area will indicate your wildland fire risk.
3. When you have determined your Fire Risk Rating use the link provided, to determine the *IWUIC* construction and defensible space requirements. (https://www.washoecounty.us/building/Files/Files/2012%20WUI%20CODE%20GUIDE_rev%2011-25-13.pdf).



From: [Rosa, Genine](#)
To: [Olander, Julee](#)
Subject: Jan Agency Review AQ Comments
Date: Friday, January 22, 2021 3:32:30 PM

Master Plan Amendment Case Number WMPA21-0001 and Regulatory Zone Amendment WRZA21-0001 (Woodland Village) –

Dust Control Permit will be required for grading work.

Tentative Subdivision Map Case Number WTM21-005 (Lupin & Pearl Streets)

No Comments

Special Use Permit Case Number WSUP21-0002 (Sage Ridge Gym) –

Dust Control Permit will be required for grading work.

Possible AQ Permit to Operate depending on emission sources and potential to emit.

Genine Rosa

Environmental Engineer II | Air Quality Management Division | Washoe County Health District
grosa@washoecounty.us | O: (775) 784-7204 | 1001 E. Ninth St., Bldg. B, Reno, NV 89512

*My schedule is 4 x 10's M-Th 7-5:30 off on Fridays.

www.OurCleanAir.com




From: [Kirschenman, Sophia](#)
To: [Olander, Julee](#)
Subject: Parks Comments Re: WSUP21-0002
Date: Thursday, January 28, 2021 2:07:33 PM
Attachments: [Outlook-3bqugode.png](#)
[Outlook-cv2schke.png](#)
[Outlook-a40m1kfj.png](#)
[Outlook-sj0oh4gn.png](#)
[Outlook-5fzildv5.png](#)

Hi Julee,

I've reviewed WSUP21-0002 (Sage Ridge Gym) on behalf of Washoe County Regional Parks and Open Space and have no comments or conditions.

Thank you,



[Sophia Kirschenman](#)
Park Planner | Community Services Department
775.328.3623 | 1001 E. 9th Street, Reno, NV 89512

Tell us how we did by taking a quick [survey](#).

Please consider the environment before printing this e-mail.

From: [Gil, Donald](#)
To: [Olander, Julee](#)
Subject: FW: January Agency Review Memo III
Date: Thursday, January 21, 2021 10:35:39 AM
Attachments: [January Agency Review Memo III.pdf](#)
[image001.png](#)
Importance: High

Julee,

The Washoe County Sheriff's Office does not have any issues or concerns with Item #2 based on the existing traffic assessment that was conducted and the controls already set up at that intersection.

Thank you,

Don

Don Gil

Captain – Patrol Division

911 Parr Blvd. Reno, NV 89512

Desk: 775-328-3354

Email: dgil@washoecounty.us

Web: www.WashoeSheriff.com

From: Fagan, Donna <DFagan@washoecounty.us>

Sent: Tuesday, January 19, 2021 3:58 PM

To: Gil, Donald <DGil@washoecounty.us>

Subject: January Agency Review Memo III

Captain Gil,

Please find the attached Agency Review Memo with cases received this month by CSD, Planning and Building.

You've been asked to review item #2. Click on the highlighted item descriptions for a link to the application.

Please send any questions, comments or conditions to the planner for that item.

Thank you,

Donna

Donna Fagan
Planning and Building Division | Community Services Department



Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

January 25, 2021

Washoe County Community Services Department

C/O Julee Olander, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WSUP21- 0002 Sage Ridge Gym

Dear Julee,

In reviewing the special use permit to permit a 24,000 square foot gym, the Conservation District has the following comments.

The District requires a 2 feet by 3 feet infiltration trench below the outlet and rip rap apron to reduce storm water runoff downstream.

With the landscape plan proposing 99 trees, these trees be monitored for a three-year period. If replacement is needed to replace with the existing same size caliper tree.

We recommend as a condition of approval the gym's exterior color palette be earth tone colors including the roofing material.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Tyler-Shaffer



WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

February 5, 2021

TO: Julee Olander, Planner, CSD, Planning & Development Division
FROM: Vahid Behmaram, Water Management Planner Coordinator, CSD
SUBJECT: Special Use Permit Case Number WSUP21-0002 Sage Ridge School

Project description:

The applicants are proposing to construct a new +/- 24,000 Sq. Ft. Gymnasium at the existing Sage Ridge School.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights comments and conditions:

There are no conditions of approval for this Special Use Permit.

A formal water will serve will be required at a later date as part of the Building Permit application and said will serve letter will be required prior to occupancy, permit final inspection, or certificate of occupancy is granted, OR during the Building Permit application process.

The applicant shall conform with the requirements of TMWA in regards to water rights and water service. TMWA requires that all water rights and water service conditions to be met prior to approval of building permits

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

January 27, 2021

Washoe County Community Services
Planning and Development Division
PO Box 11130
Reno, NV 89520-0027

RE: Sage Ridge School Gym; APN 152-021-09
Special Use Permit; WSUP21-0002

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Wesley Rubio - wrubio@washoecounty.us

- a) WCHD has reviewed the above referenced project and has no objections to the approval of the project as proposed.
- b) All building plans must be reviewed and approved by WCHD Environmental Health Services.

If you have any questions or would like clarification regarding the foregoing, please contact Wesley Rubio, EHS Supervisor at wrubio@washoecounty.us regarding all Health District comments.

Sincerely,



Wesley Rubio, MPH, REHS
EHS Supervisor
Environmental Health
Washoe County Health District



5475 Reno Corporate Dr., Ste 300
Reno, Nevada 89511

phone : 775-624-3966
fax : 775-624-3969
Email : paul@montanebuildinggroup.com

Washoe County
Planner|Community Services Department- Planning & Building Division
1001 E. Ninth St., Bldg A.,
Reno, NV 89512

RE: WSUP21-0002 CAB

To Whom it Concerns:

On February 4, 2021 Sage Ridge School attended the South Truckee Meadows/Washoe Valley Citizen Advisory Board meeting regarding our SUP Application for a new Gym Facility. Hearing from the Board and the two citizens that spoke at the meeting we believe the original SUP application meets and exceeds the concerns that were brought up during open comment.

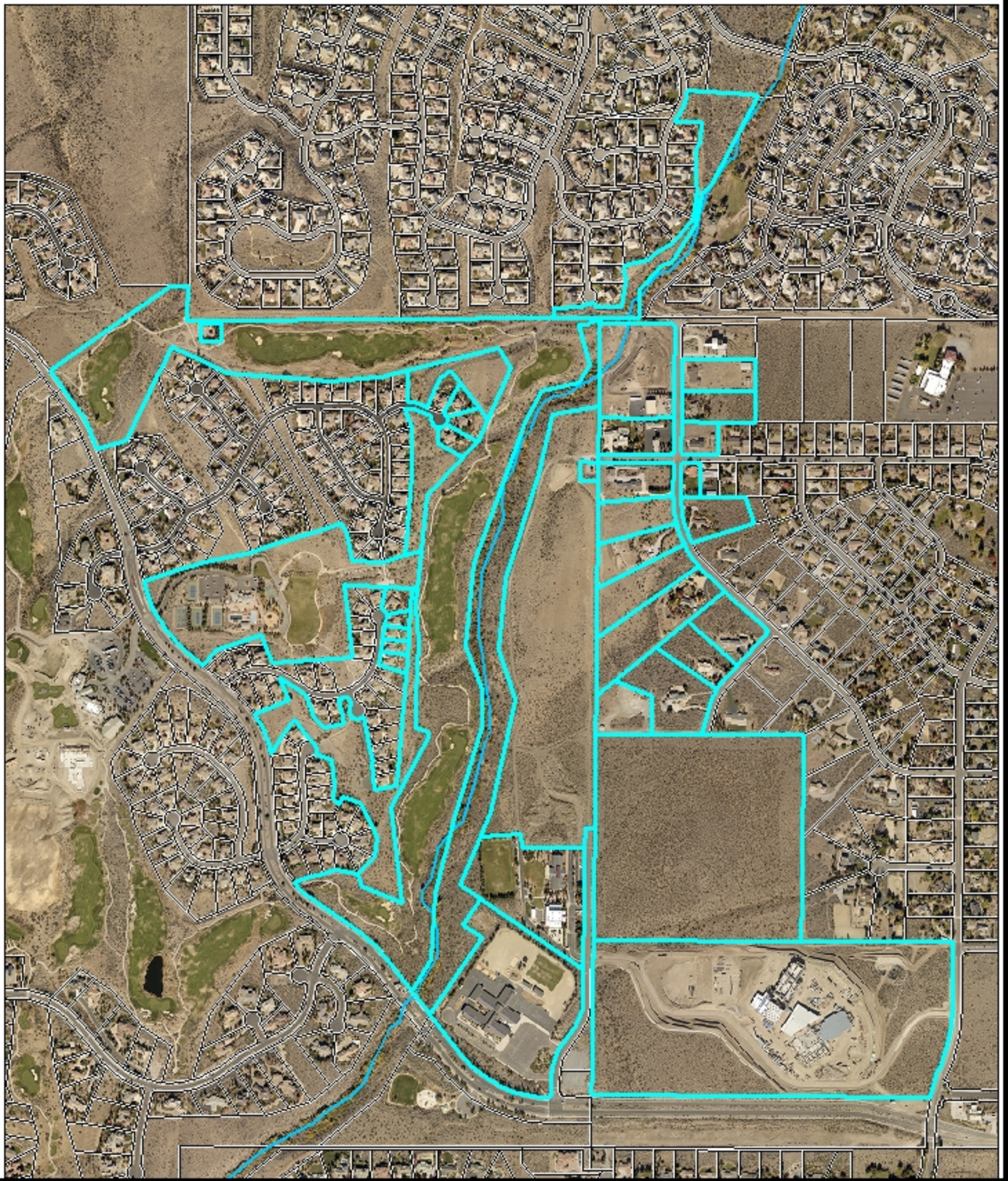
At this time, we will not be submitting any additions information that is not already included in the submitted SUP.

If you have any questions, please feel free to contact me by email or phone.

Sincerely,

A handwritten signature in blue ink, appearing to read "Paul Slocum", is written over a blue ink scribble. Below the signature, the name "Paul Slocum" and the company name "Montane Building Group, Inc." are printed in a black sans-serif font.

Paul Slocum
Montane Building Group, Inc.



WSUP21-0002 Sage Ridge School

Noticing Map - 600 feet



0 250 500 750
Feet

Community Services
Department



1001 E Ninth St
Reno, Nevada 89502

WSUP21-0002

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Sage Ridge School Gym			
Project Description: +/- 24,000 sf Gym with open area, restrooms, lockers and weight room.			
Project Address: 0 Crossbow Ct., Washoe County, Nevada			
Project Area (acres or square feet): 2.71 acres or 118,235 sf			
Project Location (with point of reference to major cross streets AND area locator): Crossbow Ct North of the existing Sage Ridge School. Major cross street is Arrowcreek Parkway to the South.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
152-021-09	33.42		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Sage Ridge School		Name: Montane Building Group, Inc.	
Address: 2515 Crossbow Ct.		Address: 5475 Reno Corporate Dr., Suite 300	
Washoe County, NV	Zip: 89511	Reno, NV	Zip: 89511
Phone: 775 852-6222	Fax:	Phone: 775 624-3966	Fax: 775 624-3966
Email: tbechtel@sageridge.org		Email: paul@montanebuildinggroup.com	
Cell:	Other:	Cell: 775 560-4815	Other:
Contact Person: Tobin Bechtel		Contact Person: Paul Slocum	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Sage Ridge School		Name:	
Address: 2515 Crossbow Ct.		Address:	
Washoe County, NV	Zip: 89511		Zip:
Phone: 775 852-6222	Fax:	Phone:	Fax:
Email: tbechtel@sageridge.org		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Tobin Bechtel		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Special Use Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the project being requested?

Building a +/- 24,000 sf gym for Sage Ridge School.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

See attached.

3. What is the intended phasing schedule for the construction and completion of the project?

There will be one phase. Looking at starting construction 5/1/2021 and finishing by 12/24/2021.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

This project is a natural expansion of an already existing school. It will be located adjacent to the existing school on property set aside for the school's expansion.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

As a state-of-the-art gymnasium this project will bring an immediate positive impact by offering existing and future students the opportunity to excel in a very competitive athletic environment while attending one of the brightest private schools in Northern Nevada. With an ever-growing community this project will provide a greater capacity of choice when it comes to one's education.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

There will be no anticipated negative impacts as the proposed project is to be located on a parcel that is surrounded by existing educational facilities.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

See Attached.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	Municipal
b. Electrical Service	NV Energy
c. Telephone Service	
d. LPG or Natural Gas Service	NV Energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	
g. Water Service	Municipal

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #	64508	acre-feet per year	17.14
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

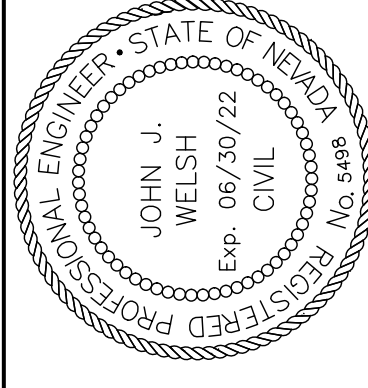
Ground Water Municipal

10. Community Services (provided and nearest facility):

a. Fire Station	Corner of Arrowcreek Parkway & Thomas Creek
b. Health Care Facility	Saint Mary's on Wedge Parkway
c. Elementary School	NA
d. Middle School	NA
e. High School	NA
f. Parks	2950 Arrowcreek Parkway
g. Library	16050 Wedge Parkway
h. Citifare Bus Stop	Route 56 Walmart & Kohl's



1885 S. Arlington Ave. Suite 111
Reno, Nevada 89509
(775) 329-4955 • Fax (775) 329-5098



**SAGE RIDGE SCHOOL
GYM EXPANSION &
CROSSBOW COURT
EXTENSION**

OWNER

OWNER NAME
ADDRESS

NO.	DATE	DESCRIPTION

PROJECT NO:	1097.01.25
DESIGNED BY:	DJT
DRAWN BY:	DJT
CHECKED BY:	Ckd By
DATE:	12/21/2020

This drawing is the property of NCE. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of NCE. The user's agreement not to use this drawing for any purpose other than that specifically permitted in writing by NCE.

SHEET TITLE

UTILITY PLAN

DRAWING

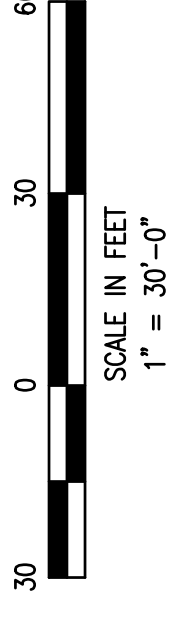
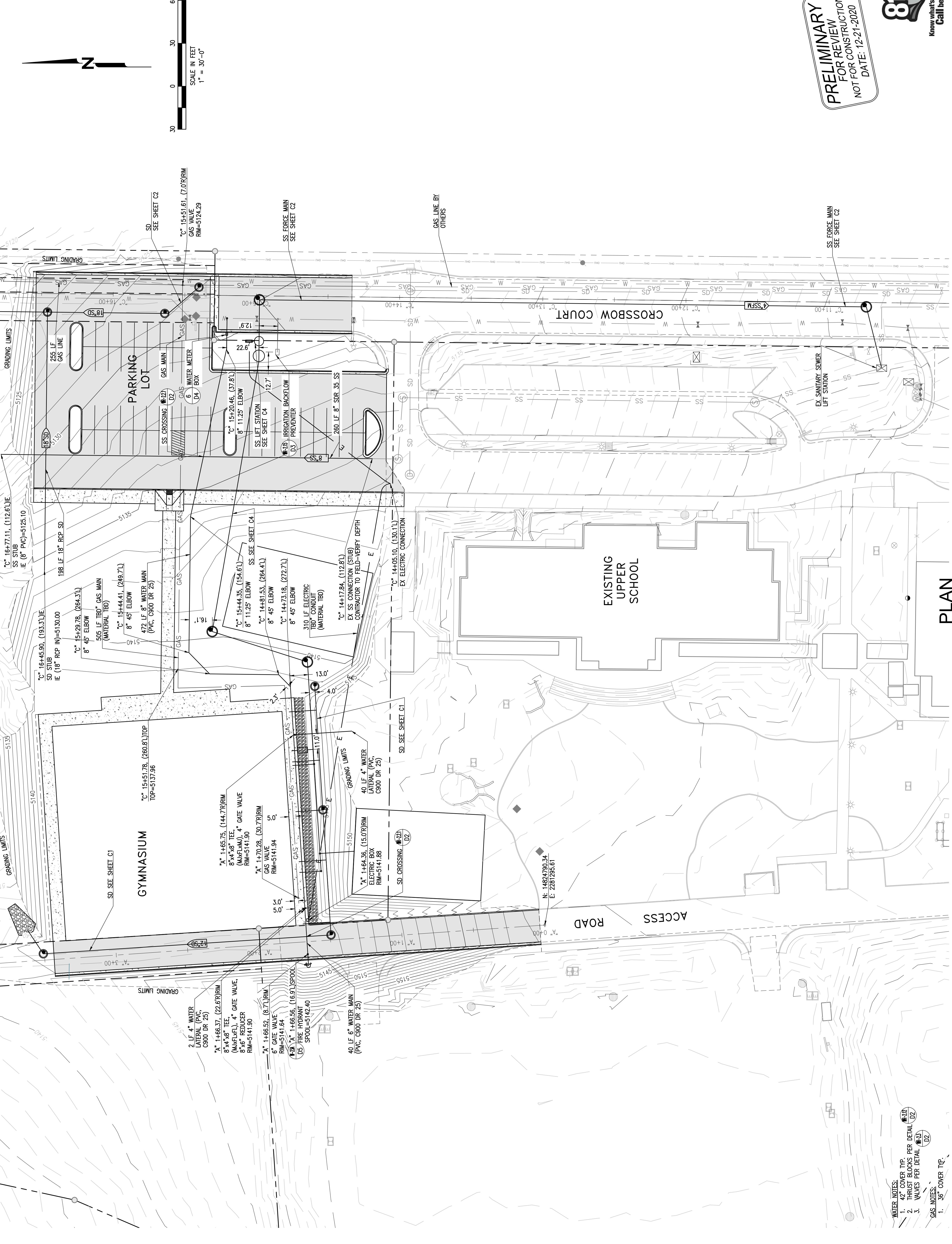
C3

SHEET 4 OF 12

**PRELIMINARY
FOR REVIEW
NOT FOR CONSTRUCTION**
DATE: 12-21-2020

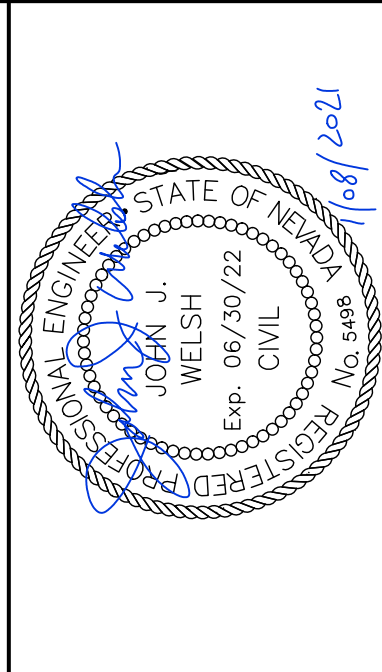


Know what's below.
Call before you dig.



PLAN

- WATER NOTES:**
- 42" COVER TYP.
 - THRUST BLOCKS PER DETAIL (D2)
 - VALVES PER DETAIL (D2)
- GAS NOTES:**
- 36" COVER TYP.



**SAGE RIDGE SCHOOL
GYM EXPANSION &
CROSSBOW COURT
EXTENSION**

**MONTANE BUILDING
GROUP
5475 RENO CORPORATE
DRIVE, #300
RENO, NV 89511**

DRAWING **G1**

ABBREVIATIONS

NOT ALL ABBREVIATIONS LISTED ARE USED IN THESE PLANS

AB	AGGREGATE BASE	MECR	MANUFACTURER
AC	ASPHALT CONCRETE	MH	MANHOLE
A/G	ABOVE GROUND	MAX	MAXIMUM
AP	APPROXIMATE	MDD	MAXIMUM DRY DENSITY
ASSY	ASSEMBLY	MJ	MECHANICAL JOINT
AWWA	AMERICAN WATER WORKS ASSOCIATION	MI	MILE
BC	BEGIN CURVE	MIN	MINIMUM
BCP	BEGIN MANAGEMENT PRACTICES	MISC	MISCELLANEOUS
BOW	BACK OF WALK	MWC	MIDDLE OF VERTICAL CURVE
BSP	BLACK STEEL PIPE	N	NORTH
BW	BOTTOM OF WALL	NEC	NATIONAL ELECTRICAL CODE
BVC	BEGIN VERTICAL CURVE	NTS	NOT IN CONTRACT
		NO	NOT TO SCALE
		#	OR NO NUMBER
C&G	CURB AND GUTTER	OC	ON CENTER
CB	CATCH BASIN	OG	ORIGINAL GRADE
CF	CURB FEET	OLS	OL/WATER SEPARATOR
CL	CLEAR		
CLP	CORRUGATED METAL PIPE	±	PLUS OR MINUS
CO	CLEAN OUT	POC	PORTLAND CEMENT CONCRETE OR PERMANENT EASEMENT
COMM	COMMUNICATION	PL	PROPERTY LINE
CONC	CONCRETE	PE	PERMANENT EASEMENT
CONST	CONSTRUCT	POS	POSITIVE
CP	CONTROL POINT	PRC	POINTS PER SQUARE INCH
CT	CUBIC YARD	PSI	POUNDS PER SQUARE INCH
		PTC	PERMISSION TO CONSTRUCT
		PIE	PUBLIC UTILITY EASEMENT
		PVC	POLYVINYL CHLORIDE
		PVI	POINT OF VERTICAL INTERSECTION
		PWMT	PAVEMENT
		R	RADIUS
		RPC	REINFORCED CONCRETE PIPE
		REG	REGULATION
		RET	RIGHT
		R/W	RIGHT-OF-WAY
		R/W ROW	RIGHT-OF-WAY
S	SLOPE, SOUTH	SCH	SCHEDULE
SD	STORM DRAIN	SD	STANDARD
SIR	STANDARD DIMENSION RATIO	SDH	STORM DRAIN MANHOLE
SMH	SHOULDER FOOT/FEET	SFT	SQUARE FOOT
SST	SANITARY SEWER MANHOLE	SSCO	SANITARY SEWER CLEAN OUT
SSCO	SANITARY SEWER CLEAN OUT	SS	SANITARY SEWER, STAINLESS STEEL
STA	STATION	STA	STATION
STD	STANDARD	STD	STANDARD
SY	SQUARE YARD	T	TOP
T	TOP	TBC	TOP BACK OF CURB
TBC	TOP BACK OF CURB	TCC	TOP OF CURB
TCE	TEMPORARY CONSTRUCTION EASEMENT	TYP	TYPICAL
TW	TOP OF WALL	UGE	UNDERGROUND ELECTRIC
U/G	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
U/G	UNDERGROUND	U/G	UNDERGROUND
VC	VERTICAL CURVE	W	WATER
VG	VALLEY GUTTER	WL	WATER LINE
W	WATER	W	WEST
WL	WATER LINE	W/	WITH
W	WEST	WM	WATER METER
W/	WITH		
WM	WATER METER		

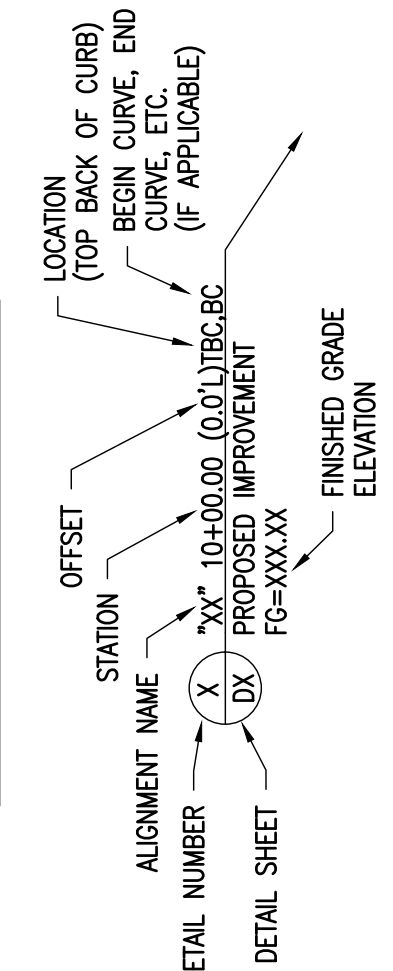
EXISTING FEATURES

5040	MAJOR CONTOUR
5041	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	WATER LINE
SS	SANITARY SEWER PIPE
SD	STORM DRAIN PIPE
E	UNDERGROUND ELECTRIC
GAS	GAS LINE
O-HU	OVERHEAD UTILITY
T	UNDERGROUND TELEPHONE
U	UNDERGROUND UTILITY
---	DRAINAGE CHANNEL FLOWLINE
---	RIGHT-OF-WAY
---	PROPERTY LINE
▲	SURVEY MONUMENT
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
POINT ELEVATION W/DESCRIPTION	
⊕	FIRE HYDRANT
⊕	GATE VALVE
AC PAVEMENT	

LEGEND

5040	MAJOR CONTOUR
5041	MINOR CONTOUR
---	EDGE OF PAVEMENT
---	WATER LINE
SS	SANITARY SEWER PIPE
SD	STORM DRAIN PIPE
E	UNDERGROUND ELECTRIC
GAS	GAS LINE
O-HU	OVERHEAD UTILITY
T	UNDERGROUND TELEPHONE
U	UNDERGROUND UTILITY
---	DRAINAGE CHANNEL FLOWLINE
---	RIGHT-OF-WAY
---	PROPERTY LINE
▲	SURVEY MONUMENT
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
POINT ELEVATION W/DESCRIPTION	
⊕	FIRE HYDRANT
⊕	GATE VALVE
AC PAVEMENT	

TYPICAL IMPROVEMENT NOTE



TRUCKEE MEADOWS REGIONAL STORMWATER QUALITY MANAGEMENT PROGRAM

- THE CONTRACTOR SHALL SUBMIT A COPY OF THEIR NOTICE OF INTENT (NOI) TO THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION (NDEP) TO BE REGULATED UNDER STORMWATER GENERAL MANAGEMENT PRACTICES (SWMP) AND THE TRUCKEE MEADOWS REGIONAL STORMWATER QUALITY MANAGEMENT PROGRAM. THE LETTER OF AUTHORIZATION FROM NDEP TO THE ENGINEER OR ONCE PAYMENT HAS BEEN RECEIVED BY NDEP, THE APPLICANT IS IMMEDIATELY COVERED UNDER THE STATE'S PERMIT. TO SUBMIT A NOTICE OF INTENT (NOI) CONTACT:
NEVADA DIVISION OF ENVIRONMENTAL PROTECTION
BUREAU OF WATER POLLUTION CONTROL
901 S. STEWART STREET, SUITE 4001
CARSON CITY, NV 89701
775-687-9418
ATTN: ANDREW DIXON
- BY SUBMITTING A COPY OF THE NOI AND THE RECEIPT OR AUTHORIZATION FROM NDEP, THE CONTRACTOR ACKNOWLEDGES THAT THE CONTRACTOR IS AWARE OF THE REQUIREMENTS SET FORTH IN THE STATE'S GENERAL PERMIT AND HAVE DEVELOPED AND WILL IMPLEMENT A SITE SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE APPLICANT FURTHER ACKNOWLEDGES THAT THE CONTRACTOR IS AWARE OF THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK AND THE REQUIRED PERFORMANCE STANDARDS SET FORTH IN SECTION 3.3 OF THE HANDBOOK. TO ASSURE COMPLIANCE WITH THESE PERFORMANCE STANDARDS, THE CONTRACTOR SHALL SUBMIT A CHECKLIST TO THE ENGINEER WITH THE SWPPP. THE CHECKLIST INDICATING THE BMPs THAT IMPLEMENT STANDARDS 1-12. IT IS RECOMMENDED THAT THE APPLICANT ALSO ATTACH A COPY OF THE CHECKLIST TO THEIR SWPPP.

NOTES

- ANY SIDEWALK, CURBS, GUTTERS OR ANY OTHER CONCRETE STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PER STANDARD SPECIFICATIONS AND STANDARD DETAILS, AT NO ADDITIONAL COST.
- UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. WHERE EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AND ALL AFFECTED UTILITY COMPANIES TO LOCATE ALL BURIED UTILITIES AT LEAST 48 HOURS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR RELOCATION OF EXISTING RECORD UTILITIES. BEFORE CONSTRUCTION OF ANY NEW UTILITIES, THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND MATERIAL OF THE UTILITY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS, BUILDINGS OR OTHER STRUCTURES RESULTING FROM CONTRACTOR'S CONSTRUCTION ACTIVITIES. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE ENGINEER AND THE OWNER AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND THE CONDITIONS EXISTING IN THE FIELD. THE CONTRACTOR SHALL COMPARE ALL DRAWINGS AND VERIFY THE FIGURES BEFORE LAYING OUT THE WORK AND WILL BE RESPONSIBLE FOR ANY ERRORS WHICH MIGHT HAVE BEEN AVOIDED THEREBY. IF THE CONTRACTOR FAILS TO NOTIFY THE ENGINEER IN A TIMELY MANNER OF ANY APPARENT ERROR OR OMISSION ON THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING WORK INCORRECTLY DONE AT THE CONTRACTOR'S OWN EXPENSE.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE PROJECT SPECIFICATIONS, PROJECT PLANS AND CONSTRUCTION DETAILS. THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) ORANGE BOOK, AND THE LATEST EDITION OF THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION (SDPWC) PER WASHOE COUNTY SHALL APPLY EXCEPT WHERE OTHERWISE NOTED ON THE PLANS OR SPECIAL PROVISIONS. SITE DESIGN HAS BEEN ACCOMPLISHED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF WASHOE COUNTY DEVELOPMENT CODES.
- PAYMENT FOR WORK SHOWN ON THESE PLANS EITHER SPECIFIED OR IMPLIED, BUT NOT IN THE BID PROPOSAL SHALL BE CONSIDERED AS INCLUDED IN THE PRICE PAID FOR OTHER ITEMS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL MANHOLE RIMS, EXISTING UTILITY COVERS, POLES, SIGNS, BOXES, FENCES, ETC. WITHIN THE CONSTRUCTION LIMITS ARE RESET TO THE FINISH GRADE (AND ACCORDING TO THE DETAILS IF APPLICABLE) WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CONSTRUCTION WATER FOR CONTRACTOR'S NEEDS, AS WELL AS SECURING STAGING AREA LOCATIONS FOR CONTRACTOR'S USE.
- DURING THE ENTIRE DURATION OF THIS CONSTRUCTION CONTRACT, THE CONTRACTOR SHALL IMPLEMENT STRINGENT DUST CONTROL MEASURES IN ACCORDANCE WITH WASHOE COUNTY RULES AND REGULATIONS. THE CONTRACTOR IS REQUIRED TO MAINTAIN DUST AT ALL TIMES, 24 HOURS A DAY, 7 DAYS A WEEK REGARDLESS OF WHEN CONSTRUCTION ACTIVITIES ARE OCCURRING.
- BEFORE ANY WORK IS STARTED IN THE STREET RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ADVANCED WARNING SIGNS FOR THE CONSTRUCTION ZONE. ALL CONSTRUCTION SIGNING, BARRICAADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "NEVADA TRAFFIC CONTROL MANUAL" - CURRENT EDITION, AND TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" - CURRENT EDITION, WASHOE COUNTY AND NDOT AND BE APPROVED BEFORE CONSTRUCTION BEGINS.
- DURING THE ENTIRE DURATION OF THIS CONSTRUCTION CONTRACT, THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH NDEP STORM WATER GENERAL PERMIT AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK PERFORMANCE STANDARDS SET FORTH IN SECTION 3.3 OF THE HANDBOOK. THE CONTRACTOR IS REQUIRED TO IMPLEMENT BEST MANAGEMENT PRACTICES AT ALL TIMES, 24 HOURS A DAY, REGARDLESS OF WHEN CONSTRUCTION ACTIVITIES ARE OCCURRING.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES THROUGHOUT CONSTRUCTION. IF ANY EXISTING INFRASTRUCTURE IS DAMAGED, IT SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE SCALES INDICATED THROUGHOUT THESE DRAWINGS PERTAIN TO 24"x36" SHEET SIZE. IF USING 11"x17" REDUCED PLANS, ADJUST SCALE ACCORDINGLY.
- DEBRIS COLLECTION DEVICES SHALL BE INSTALLED IN ALL STORM DRAIN AND SANITARY MANHOLES PRIOR TO CONSTRUCTION. DEVICES SHALL BE MONITORED AND MAINTAINED DURING THE PROJECT AND PROPERLY REMOVED UPON COMPLETION.
- UNLESS OTHERWISE DIRECTED OR APPROVED BY THE OWNER ALL WORK SHALL BE ACCOMPLISHED DURING NORMAL WORKING HOURS THAT ARE DEFINED AS BEING FROM 7:00AM TO 7:00PM MONDAY THROUGH FRIDAY.
- THE CONTRACTOR SHALL COOPERATE WITH ANY OTHER CONTRACTORS OR UTILITY COMPANY FORCES WORKING WITHIN THE PROJECT AREA.
- ALL SURFACES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE COMPLETION OF CONSTRUCTION. EXISTING CONCRETE SUCH AS SIDEWALK, CURB, AND GUTTER SHALL BE REMOVED TO LIMITS MARKED IN FIELD BY THE ENGINEER. ALL REMOVAL MATERIALS SHALL BE DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING BOXES, SIGNS, POLES, ETC. ADJACENT TO OUR OUTSIDE OF CONSTRUCTION LIMITS WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
- PAYMENT FOR WORK SHOWN ON THESE PLANS EITHER SPECIFIED OR IMPLIED, BUT NOT INCLUDED IN THE BID PROPOSAL, SHALL BE CONSIDERED AS INCLUDED IN THE PRICE PAID FOR OTHER ITEMS OF WORK.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND PAY ALL FEES PRIOR TO CONSTRUCTION.

TRAFFIC NOTES

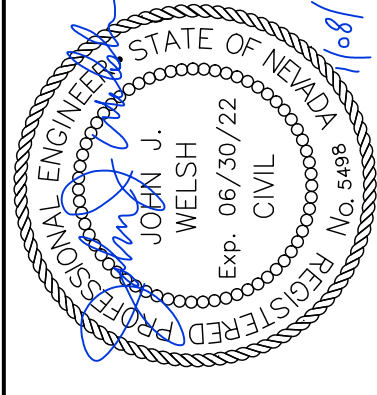
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN NECESSARY TEMPORARY PEDESTRIAN & SAFETY CONTROL DEVICES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY HOT/COLD MIX RAMP AT DRIVEWAYS, ALLEYS, INTERSECTIONS AND AT THE BEGINNING AND ENDING OF GRADE DROP-OFFS WITHIN THE TRAVEL LANE. RAMPS SHALL BE SUFFICIENTLY SLOPED TO ELIMINATE HAZARDOUS DRIVING CONDITIONS AND SHALL BE NO STEEPER THAN 5%. (NO DIRECT PAYMENT)
- THE CONTRACTOR SHALL CONSTRUCT SAFETY SLOPES WHERE PUBLIC TRAFFIC IS EXPOSED TO DROP-OFFS GREATER THAN 4 INCHES DURING NON-WORKING HOURS. DELINEATORS SHALL BE PLACED AT ALL DROP-OFF LOCATIONS AND BARRIER RAILS SHALL BE PLACED WHERE DROP-OFFS EXCEED 18 INCHES. (NO DIRECT PAYMENT)

**NOTES, LEGEND,
AND
ABBREVIATIONS**





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**SAGE RIDGE SCHOOL
GYM EXPANSION &
CROSSBOW COURT
EXTENSION**

OWNER

**MONTANE BUILDING
GROUP
5475 RENO CORPORATE
DRIVE, #300
RENO, NV 89511**

NO.	DATE	DESCRIPTION

PROJECT NO: 1097.01.25
DESIGNED BY: DJT
DRAWN BY: KJH
CHECKED BY: JMW DATE 01/04/2021
DATE: 01/08/2021

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SHEET TITLE

SITE PLAN

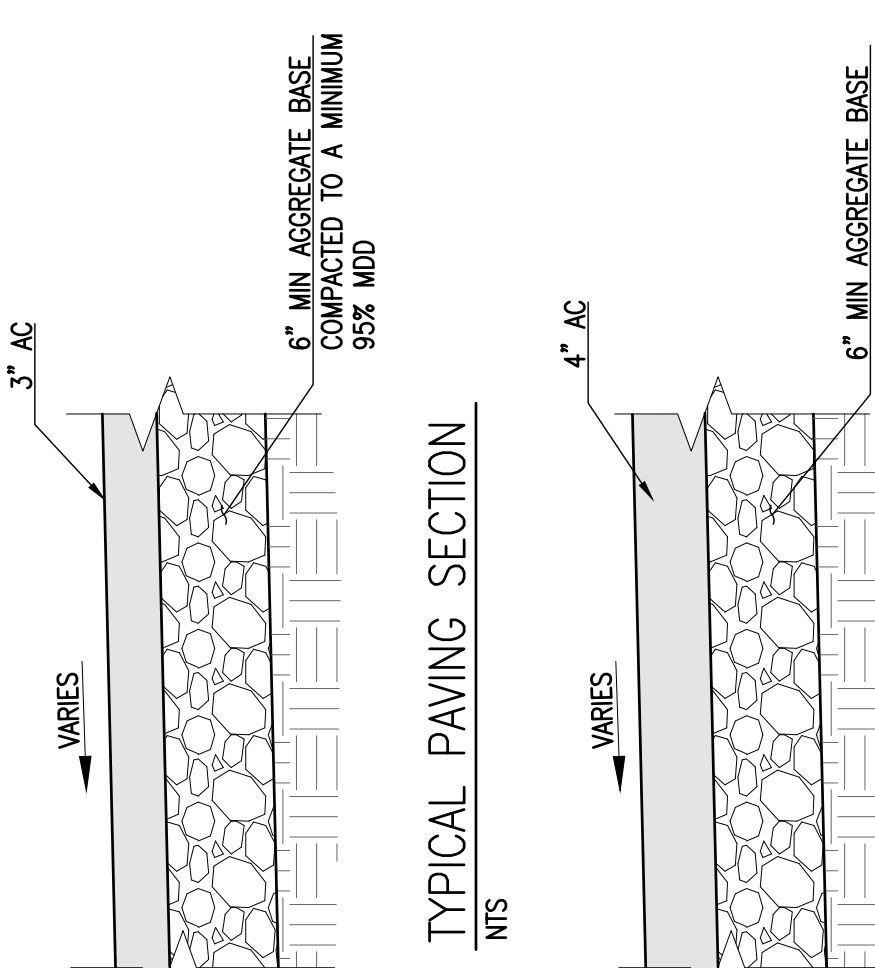
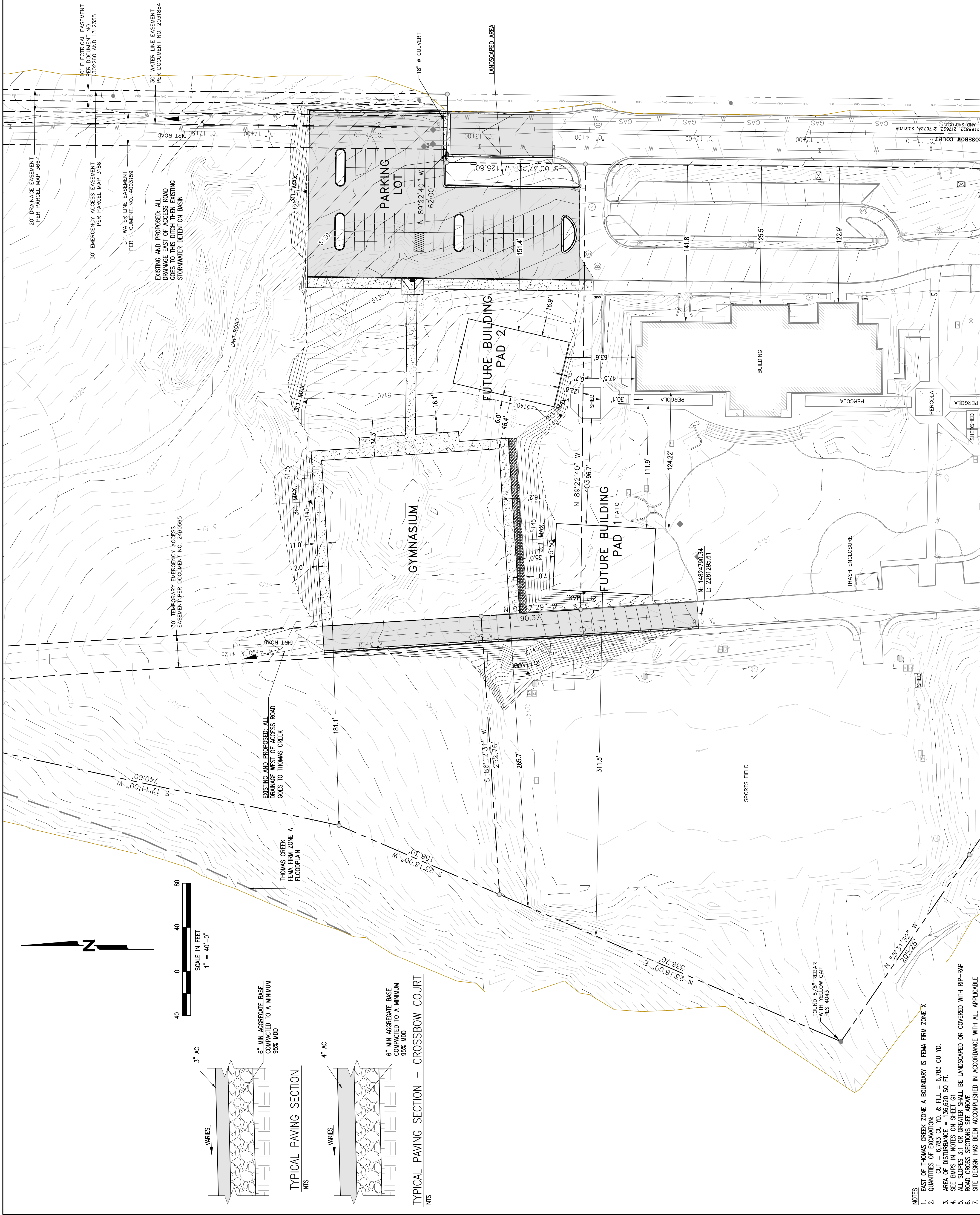
DRAWING

S-1

SHEET 2 OF 7



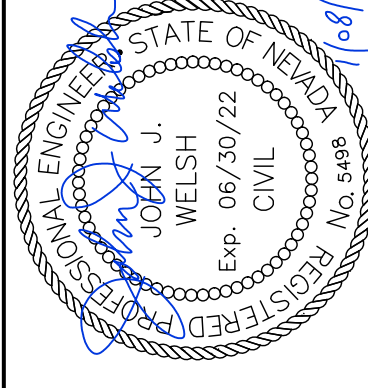
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- NOTES**
- EAST OF THOMAS CREEK ZONE A BOUNDARY IS FEMA FIRM ZONE X
 - QUANTITIES OF EXCAVATION & FILL = 6,783 CU YD.
 - AREA OF DISTURBANCE = 136,620 SQ FT.
 - SEE B.M.P.S IN NOTES ON SHEET G1
 - ALL SLOPES 3:1 OR GREATER SHALL BE LANDSCAPED OR COVERED WITH RIP-RAP
 - ROAD CROSS SECTIONS SEE ABOVE
 - SITE DESIGN HAS BEEN ACCOMPLISHED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF WASHOE COUNTY DEVELOPMENT CODES.



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EXTENSION**

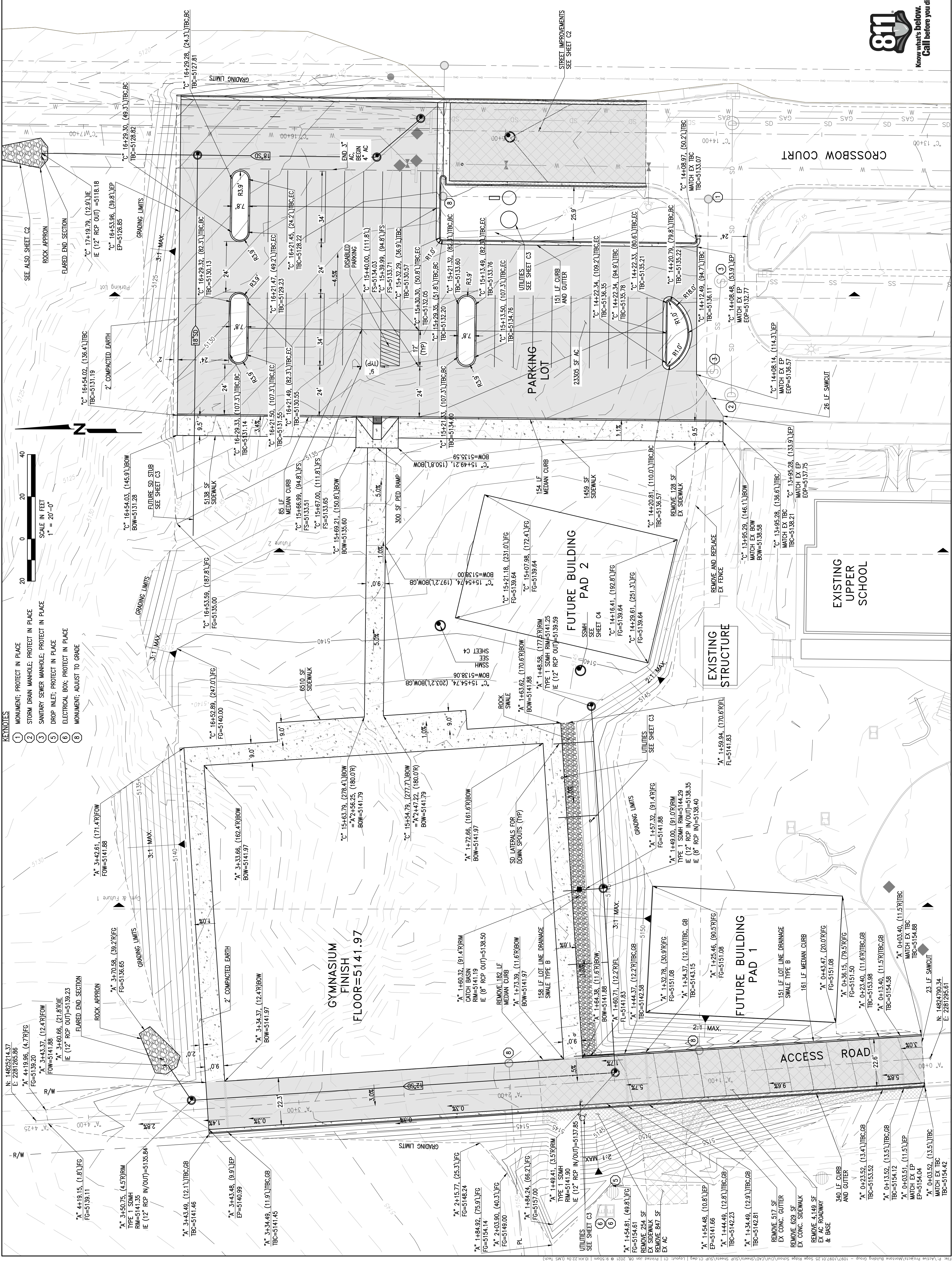
OWNER

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GROUP
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DRIVE, #300
RENO, NV 89511**

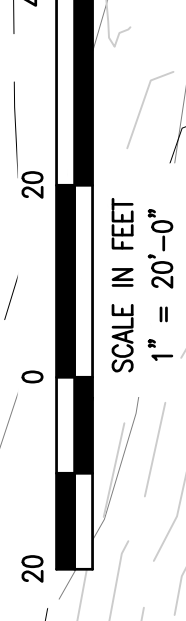
PROJECT NO:	1097.01.25
DESIGNED BY:	DJT
DRAWN BY:	KJH
CHECKED BY:	JWJ
DATE:	01/04/2021
DATE:	01/08/2021

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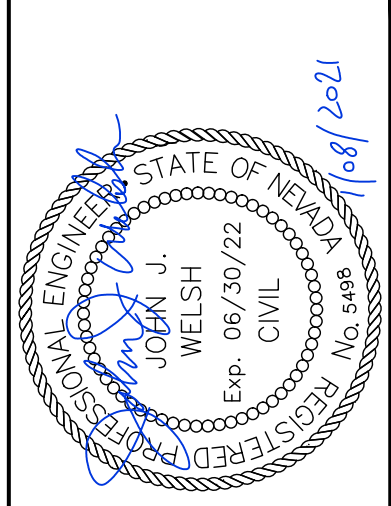
SHEET TITLE	GRADING & DRAINAGE PLAN
DRAWING	C1
SHEET	3 OF 7



- KEYNOTES**
- MONUMENT; PROTECT IN PLACE
 - STORM DRAIN MANHOLE; PROTECT IN PLACE
 - SANITARY SEWER MANHOLE; PROTECT IN PLACE
 - DROP INLET; PROTECT IN PLACE
 - ELECTRICAL BOX; PROTECT IN PLACE
 - MONUMENT; ADJUST TO GRADE



- KEYNOTES**
- MONUMENT; PROTECT IN PLACE
 - STORM DRAIN MANHOLE; PROTECT IN PLACE
 - SANITARY SEWER MANHOLE; PROTECT IN PLACE
 - DROP INLET; PROTECT IN PLACE
 - ELECTRICAL BOX; PROTECT IN PLACE
 - MONUMENT; ADJUST TO GRADE



SAGE RIDGE SCHOOL GYM EXPANSION & CROSSBOW COURT EXTENSION

OWNER
**MONTANE BUILDING
GROUP
5475 RENO CORPORATE
DRIVE, #300
RENO, NV 89511**

NO.	DATE	DESCRIPTION
PROJECT NO:	1097.01.25	
DESIGNED BY:		
DRAWN BY:	KJH	
CHECKED BY:	JWJ	DATE: 01/04/2021
DATE:	01/08/2021	

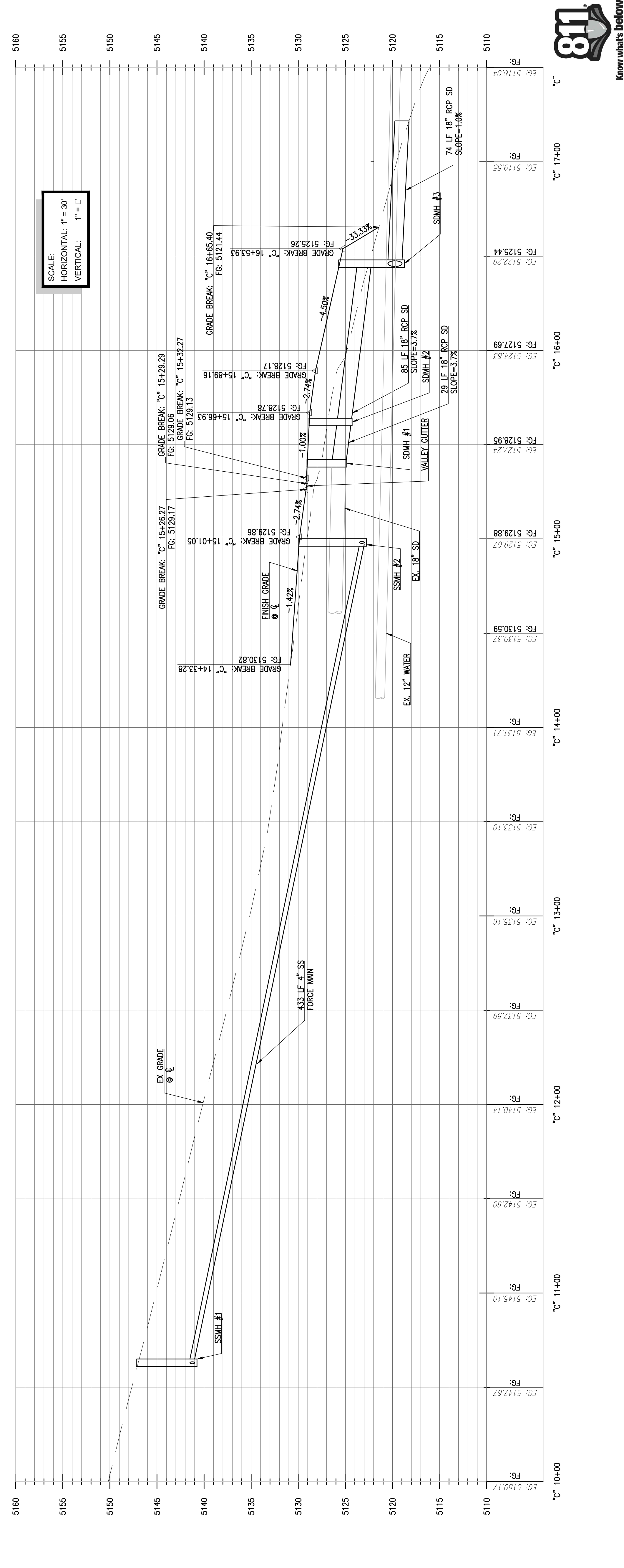
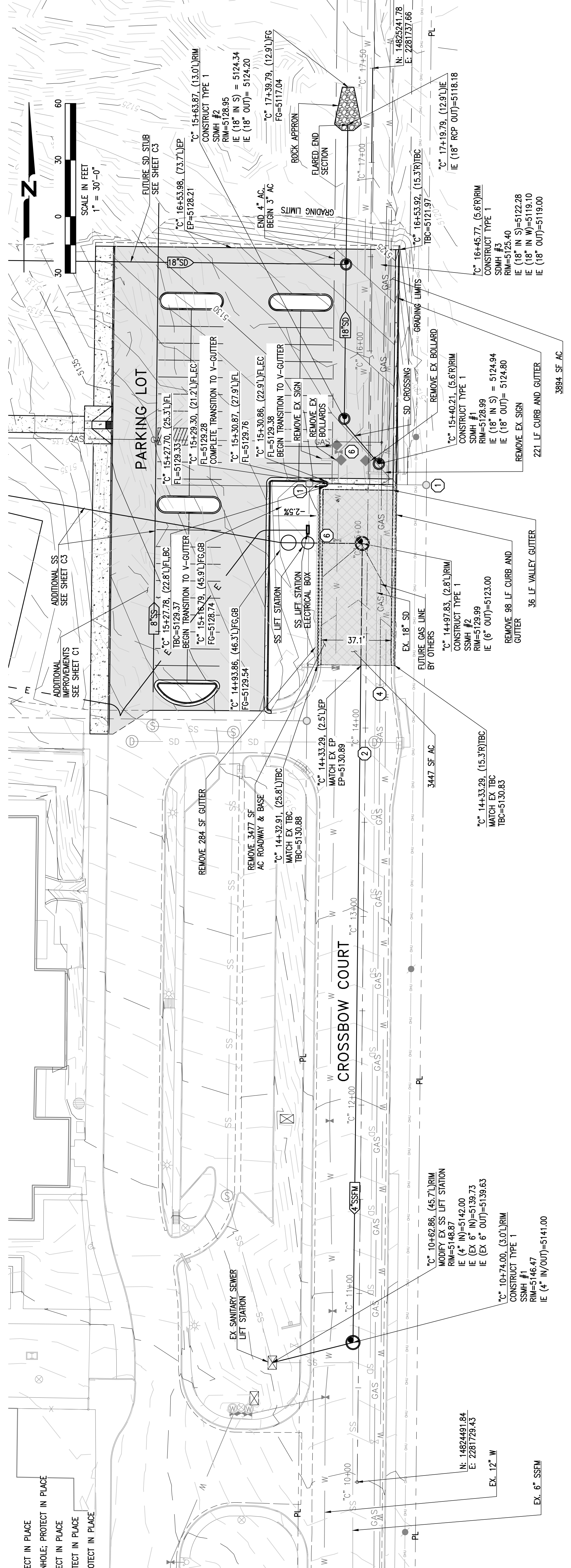
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SHEET TITLE

CROSSBOW COURT PLAN & PROFILE

DRAWING **C2**

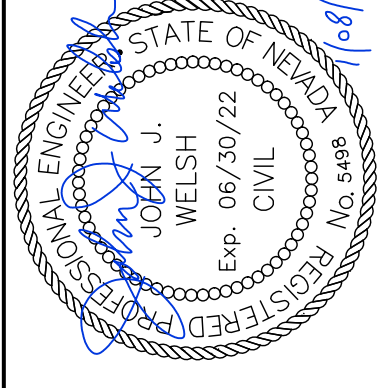
SHEET 4 OF 7



- KEYNOTES**
- 1 MONUMENT; PROTECT IN PLACE
 - 2 STORM DRAIN MANHOLE; PROTECT IN PLACE
 - 3 GAS VALVE; PROTECT IN PLACE
 - 4 DROP INLET; PROTECT IN PLACE
 - 5 WATER VALVE; PROTECT IN PLACE
 - 6



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EXTENSION**

OWNER

**MONTANE BUILDING
GROUP
5475 RENO CORPORATE
DRIVE, #300
RENO, NV 89511**

NO.	DATE	DESCRIPTION

PROJECT NO:	1097.01.25
DESIGNED BY:	DJT
DRAWN BY:	KJH
CHECKED BY:	JWJ
DATE:	01/04/2021
DATE:	01/08/2021

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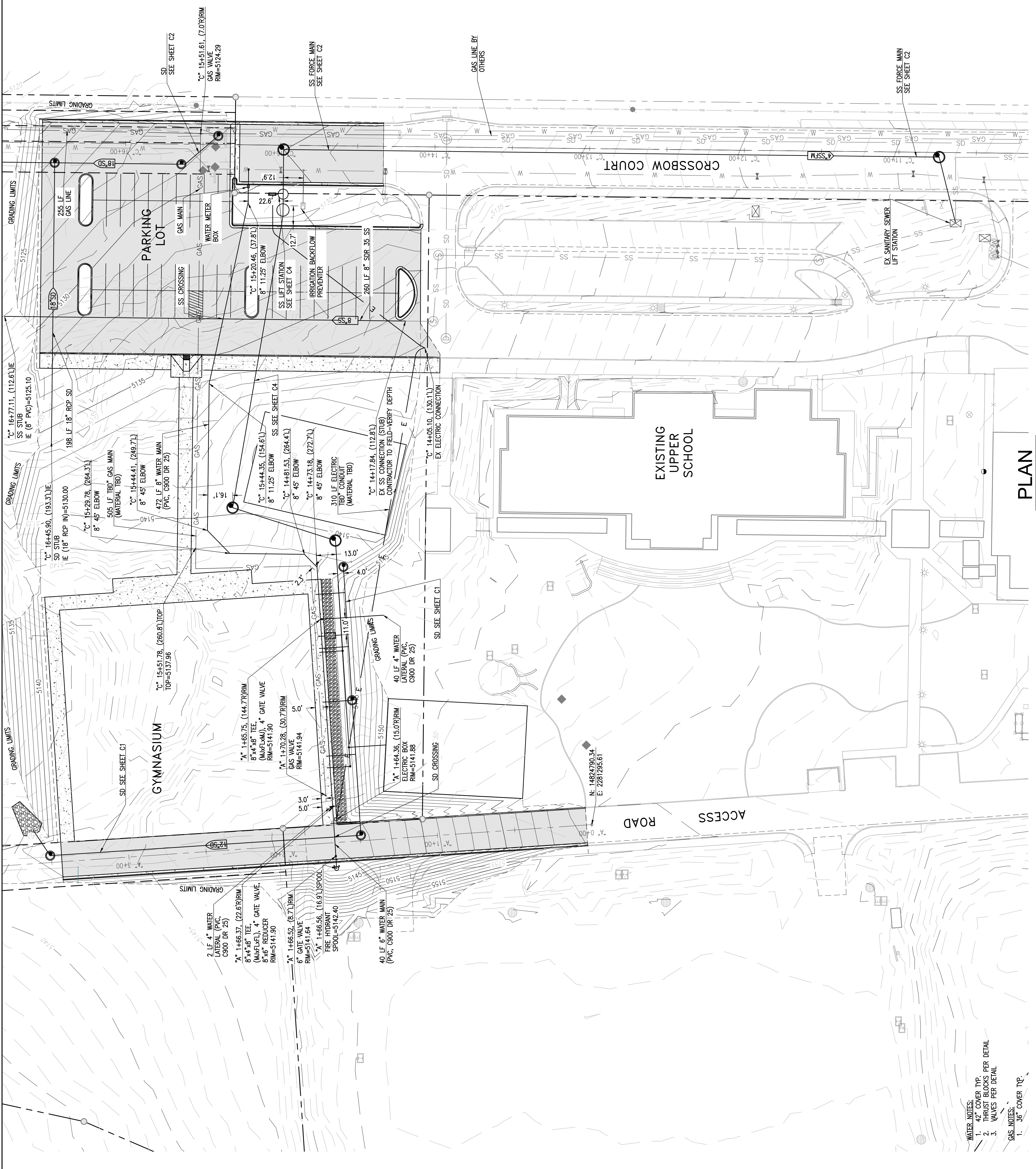
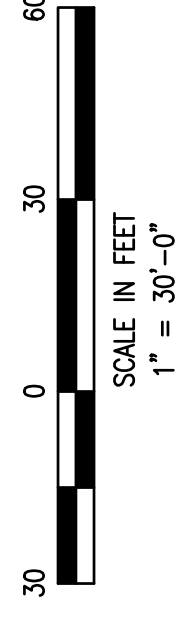
SHEET TITLE

UTILITY PLAN

DRAWING

C3

SHEET 5 OF 7

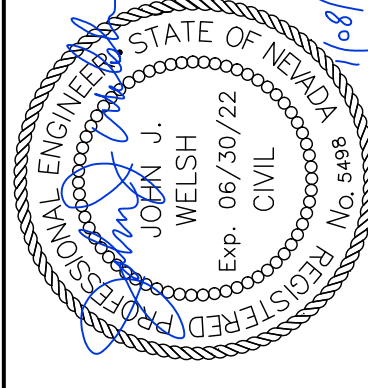


- WATER NOTES:**
- 42" COVER N/P
 - THRUST BLOCKS PER DETAIL
 - VALVES PER DETAIL
- GAS NOTES:**
- 36" COVER TYP

PLAN



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NO.	DATE	DESCRIPTION

PROJECT NO: 1097.01.25
DESIGNED BY: DJT
DRAWN BY: KJH
CHECKED BY: JWW DATE: 01/04/2021
DATE: 01/08/2021

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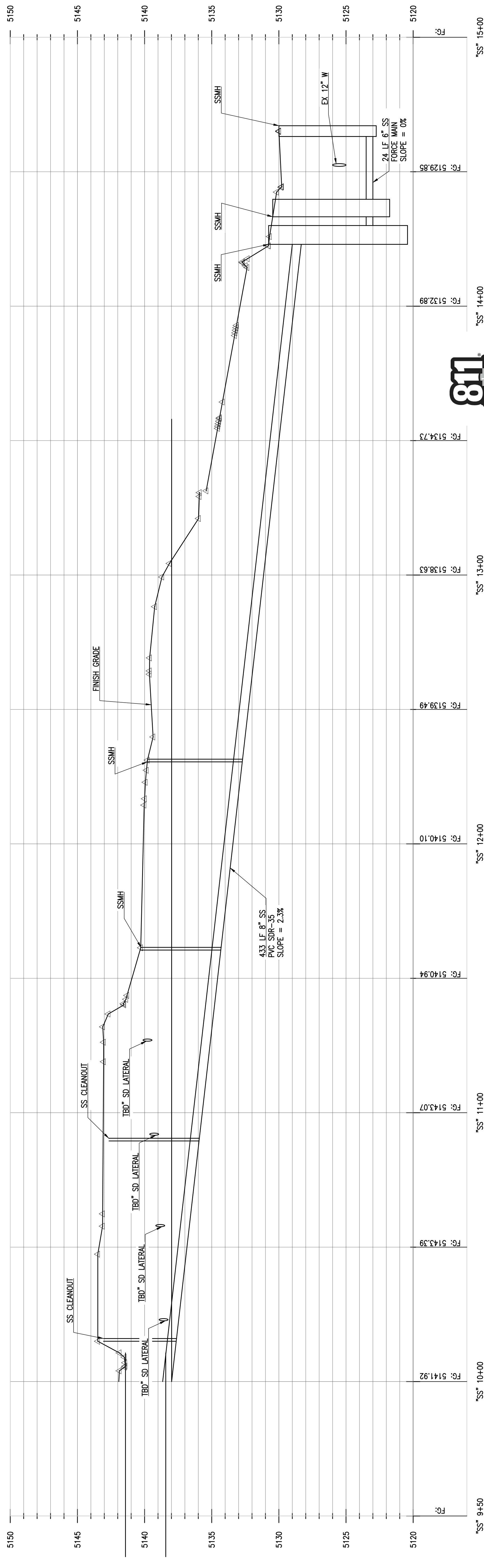
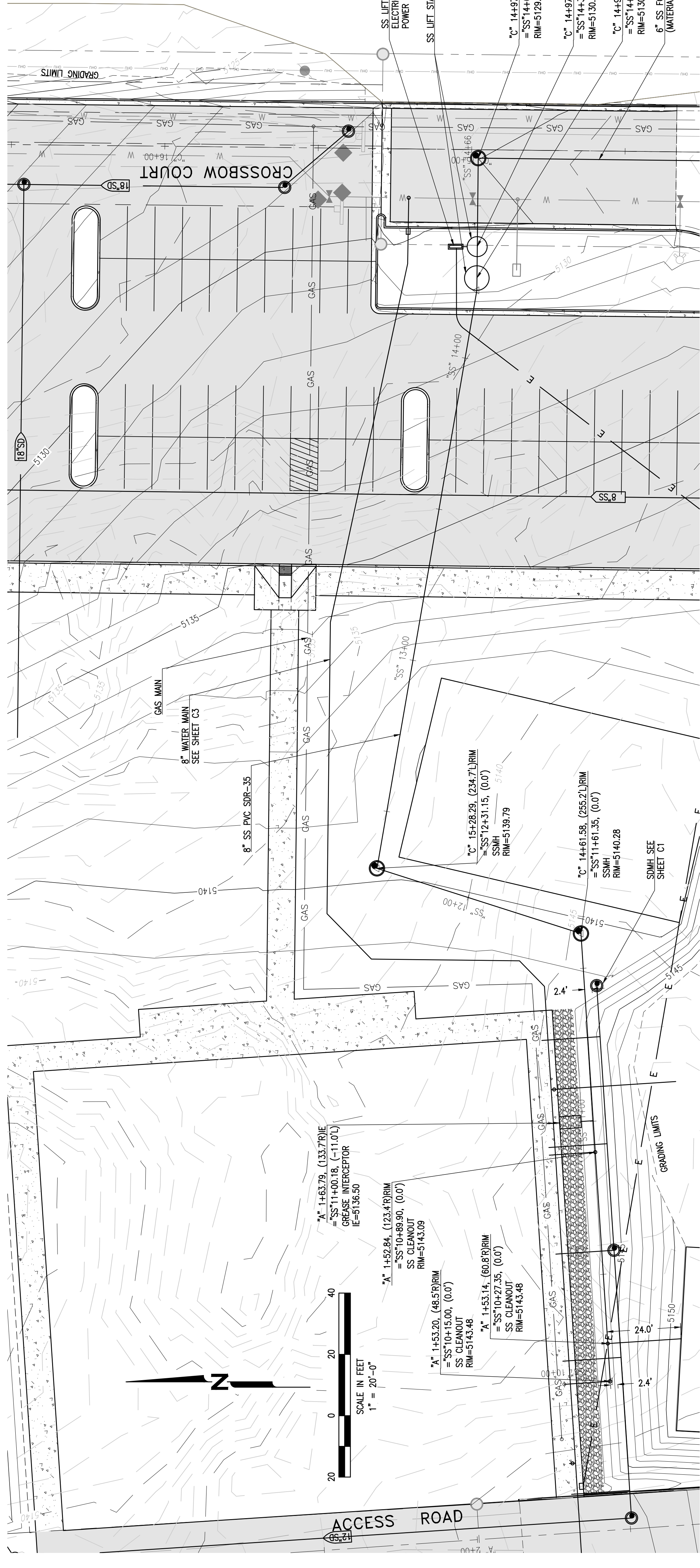
SHEET TITLE

**PLAN & PROFILE
SANITARY SEWER**

C4

DRAWING

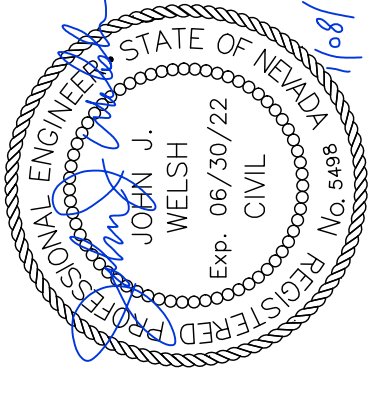
SHEET □ OF 7



PROFILE



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**SAGE RIDGE SCHOOL
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EXTENSION**

OWNER

**MONTANE BUILDING
GROUP
5475 RENO CORPORATE
DRIVE, #300
RENO, NV 89511**

PROJECT NO: 1097.01.25

DESIGNED BY: DJT

DRAWN BY: KJH

CHECKED BY: JWW DATE 01/04/2021

DATE: 01/08/2021

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SHEET TITLE

CROSS SECTIONS

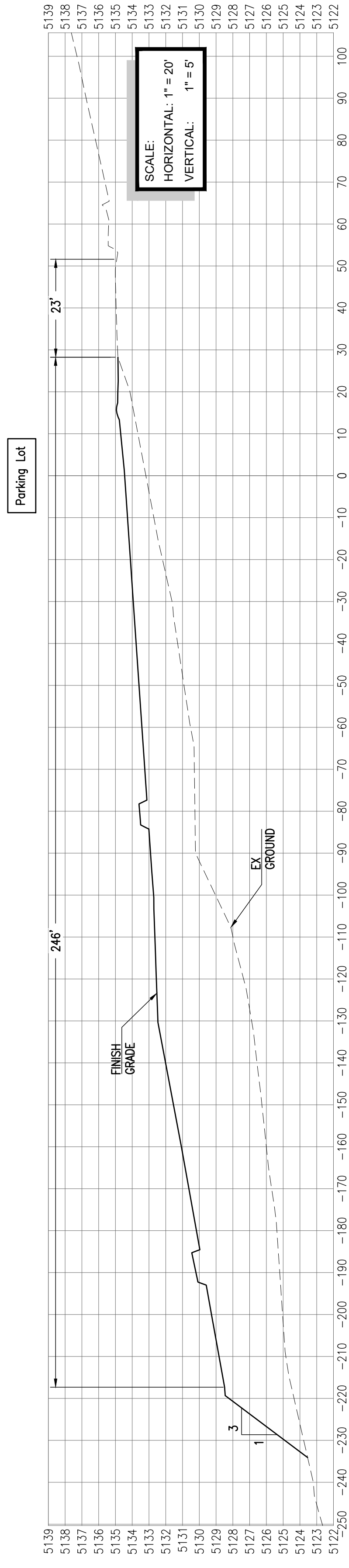
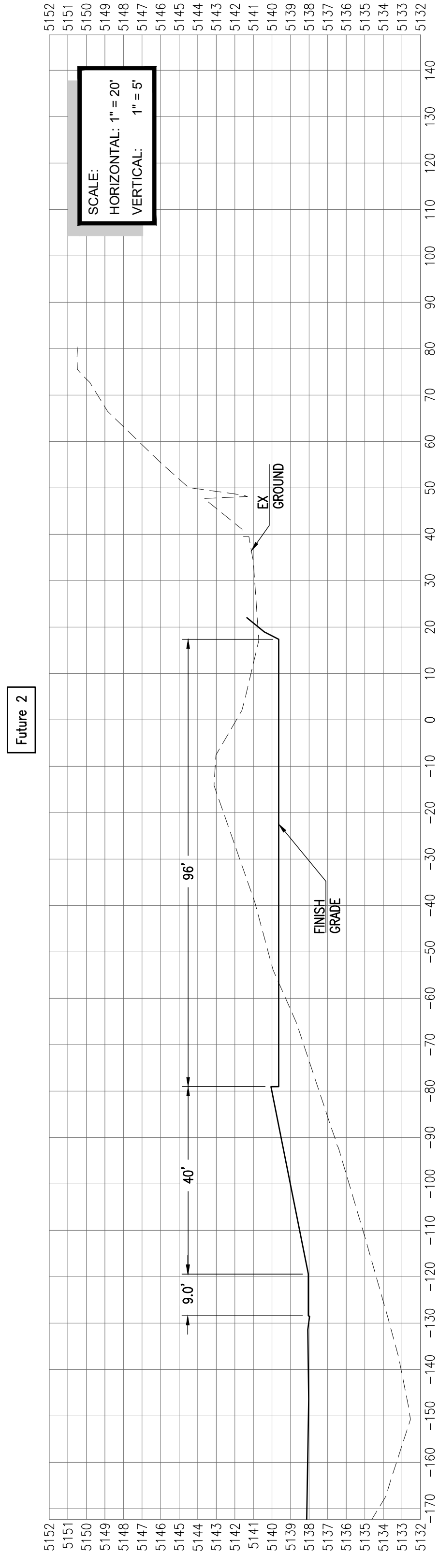
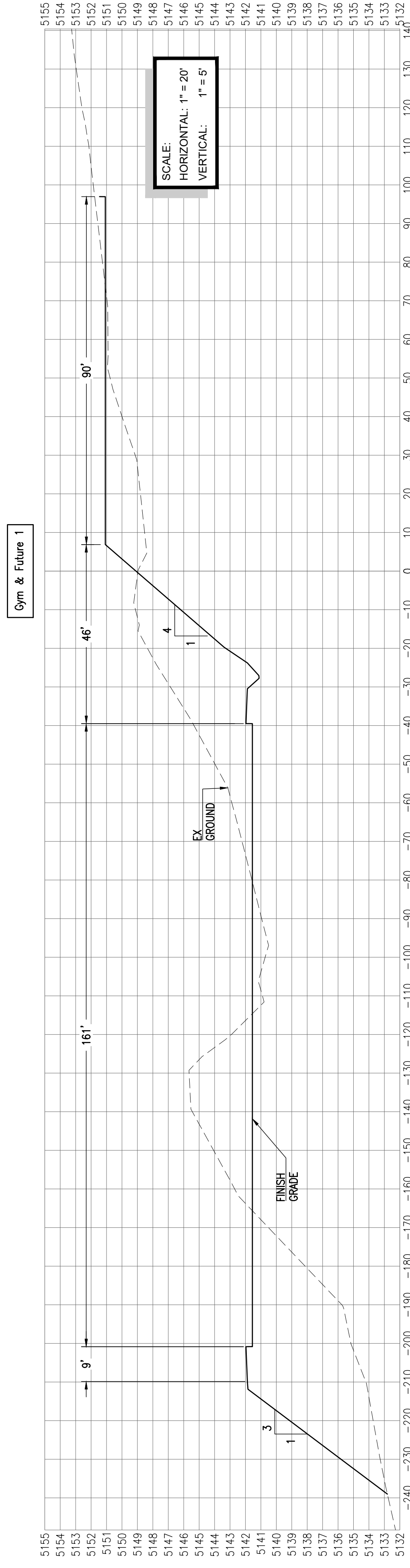
DRAWING

CS-1

SHEET 7 OF 7



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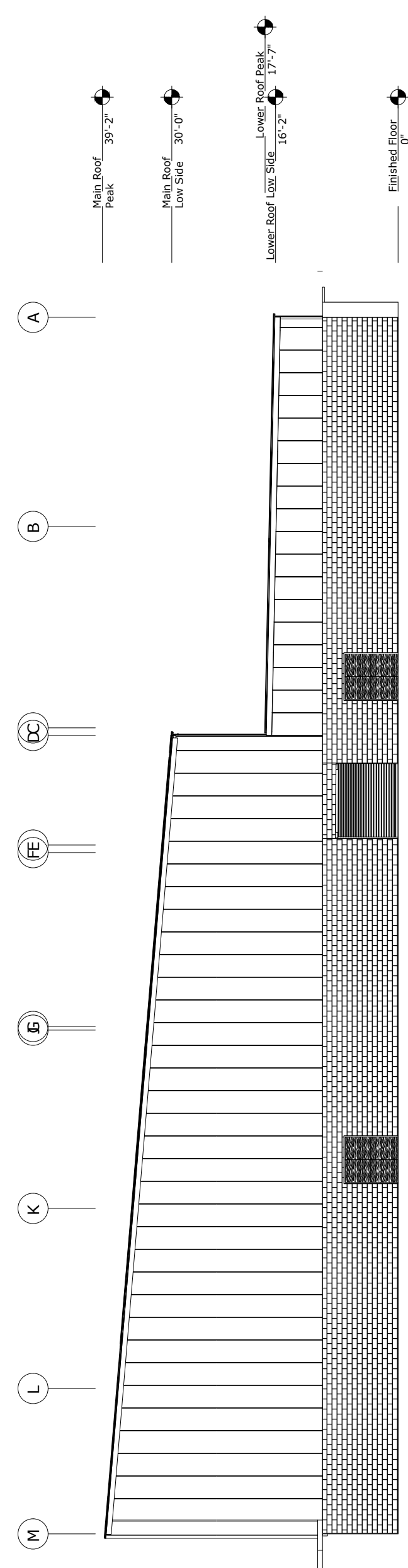
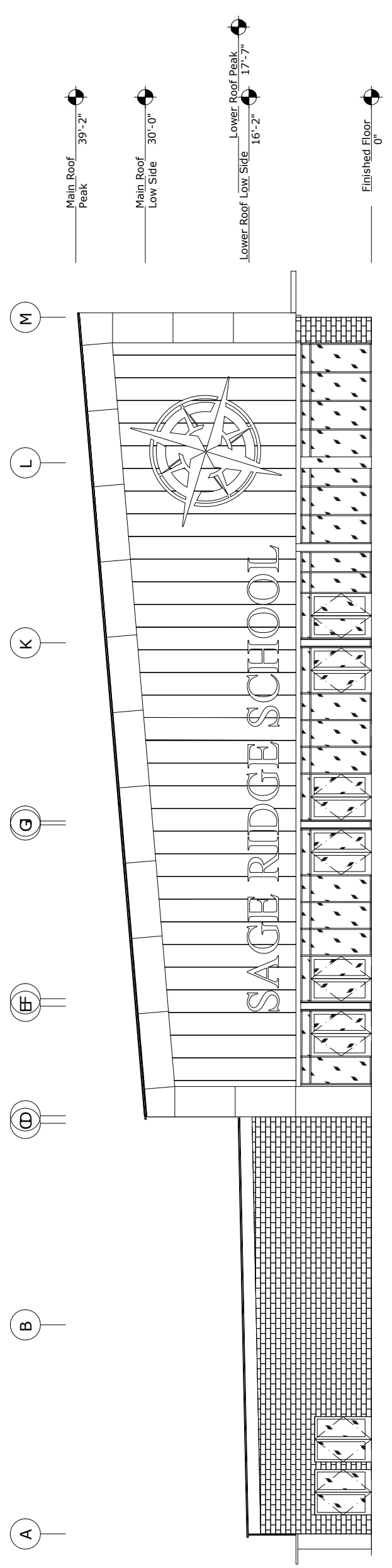
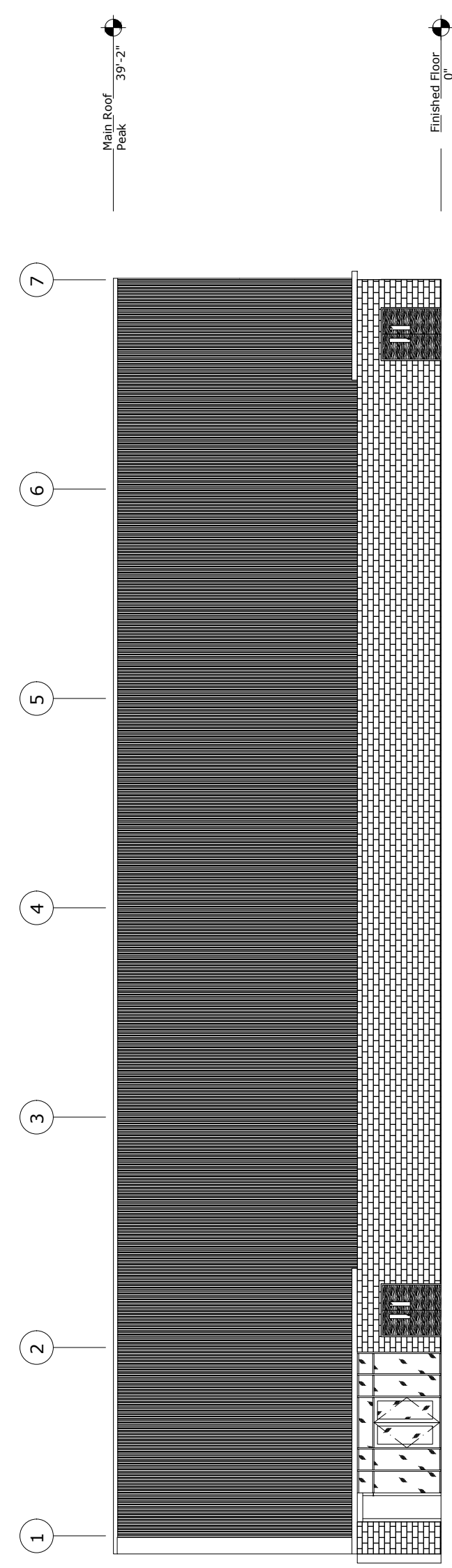
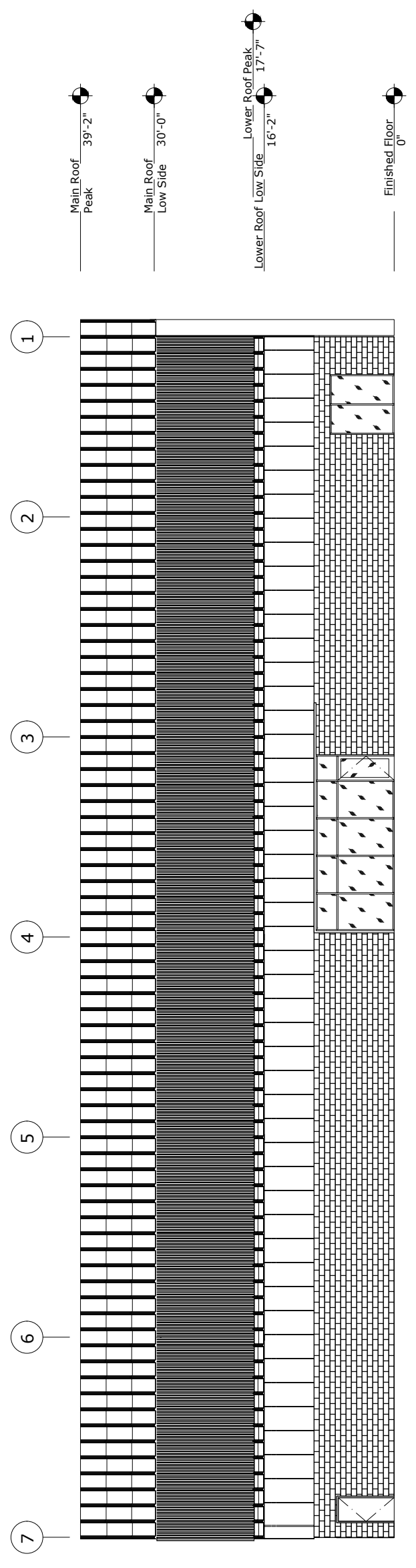
A PROPOSED NEW TENANT IMPROVEMENT FOR:
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 0 CROSSBOW CT.
 RENO, NEVADA 89511

REVISIONS

SHEET TITLE
ELEVATIONS


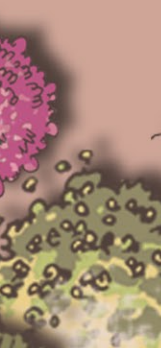

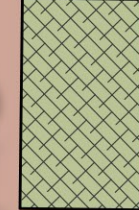
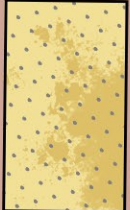
DRAWN:	RLS
CHECKED:	RLS
DATE:	12/29/2020
JOB NUMBER:	19046

A3.0





PLANT LEGEND

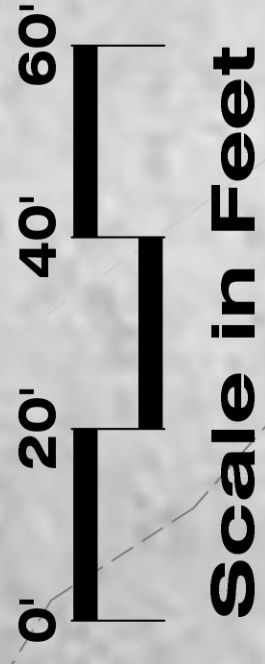
-  FLOWERING TREES
-  DECIDUOUS SHADE TREES
-  EVERGREEN TREES
-  LANDSCAPE AREA
-  RIP RAP/RE-VEGETATION AREA

LANDSCAPE DATA

- GYM PHASE DEVELOPMENT AREA = 101,073 SQ FT (2.32 ACRES)
 FUTURE BLDG PHASE DEV AREA = 46,521 SQ FT (1.07 ACRES)
- CORPORATE AREA: WASHOE COUNTY
 ZONING: LDS (LOW DENSITY SUBURBAN)
- REQUIRED LANDSCAPE AREA = 29,519 SQ FT (20% OF DEVELOPMENT AREA)
 PROVIDED LANDSCAPE AREA = 29,519 SQ FT MIN.
- TREES REQUIRED = 99
 1 TREE PER 300 SQ FT OF REQUIRED LANDSCAPE AREA
- INCLUDES
- 1 TREE PER 10 PARKING SPACES (61 SPACES PROVIDED) = 6
 - 1 TREE PER 50 LN FT OF STREET FRONTAGE (114 LN FT) = 3
- TREES PROVIDED = 99 MIN.

GENERAL NOTES

- 1) ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
- 2) TREES SHALL BE A MIXTURE OF EVERGREEN AND DECIDUOUS
 ONE HALF OF ALL DECIDUOUS TREES SHALL BE A MIN. OF 2" CAL., THE REMAINDER MAY BE 1" CAL.
 ONE HALF OF ALL EVERGREEN TREES SHALL BE A MIN. OF 7' HT., THE REMAINDER MAY BE 5' HT.
- 3) FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATING TO MICRO-CLIMATE, SOIL, AND WATER REGIMES. ALL TREES WILL BE STAKED SO AS TO REMAIN UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1989).
- 4) ALL SHRUB BEDS WILL RECEIVE 3" DEPTH MULCH WITH WEED CONTROL.
- 5) ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED BASED ON THE SPECIFIC HORTICULTURAL REQUIREMENTS OF EACH SPECIES. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTOR WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.
- 6) PLAN IS CONCEPTUAL. PLANT QUANTITIES INDICATED ARE PER AGENCY REQUIREMENTS, PLANT LOCATIONS, FINAL SPECIES SELECTION, AND SIZE AT PLANTING SHALL BE DETERMINED DURING DEVELOPMENT OF THE FINAL CONSTRUCTION DOCUMENTS.



Scale in Feet

**Preliminary Landscape Plan
 SAGE RIDGE SCHOOL
 Gym Expansion and Crossbow Court Extension**

Washoe County Nevada

No.	Revision Date

LA No. 651-602-02-20
 Designed: RYH
 Drawn: CKK
 Checked: RYH
 Date: 01/06/2021